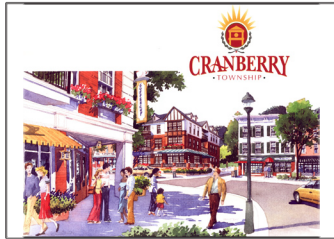


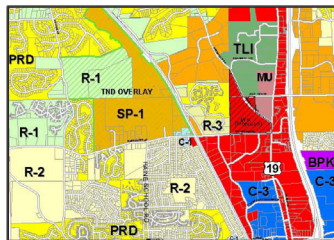
Cranberry Township - Butler County, PA

Cranberry's TND districts establish planning, design and development standards that go beyond those which previously applied to the same properties. Their goal is to create livable communities on a human scale, reminiscent of America's small town heritage. These guidelines are informed by the following principles:



**1. Clear Guidelines:**

All planning, design, construction and maintenance of neighborhoods, places, and improvements shall be in accordance with Exhibit 'B', the general Manual of Written and Graphic Design Guidelines, as enabled by Section 708-A of the Pennsylvania Municipalities Planning Code.



**2. Defined Districts:**

The TND-1, TND-2, and TND-3 areas shall be as shown on the Cranberry Township Zoning Map. Each TND District shall be an Overlay District subject to the Conditional Use review process.



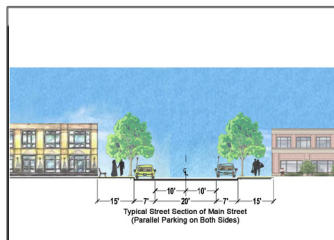
**3. Pedestrian-Friendly Neighborhood Patterns:**

Create compact and walkable neighborhoods with a high degree of pedestrian orientation. Emulate traditional neighborhoods such as Zelenople, Beaver, Butler and Sewickley. Emulate new TNDs such as Summerset at Frick Park and South Side Works in Pittsburgh.



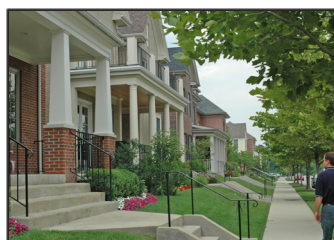
**4. Connected Streets and Service Lanes:**

Interconnect streets and alleys to form the blocks of the TND neighborhoods. Provide mild deflections to the alignment of streets to relate to topography and to create visual interest and diversity along the Streetscape.



**5. Outdoor Rooms:**

Create a Streetscape whereby an "outdoor room" environment is formed by "bookend buildings" on both sides of streets. Position buildings close to sidewalks and across the street from one another so that the horizontal cross-section is in the range of 60 to 85 feet, (depending on sidewalk width, on-street parking, travel lanes, and type of TND neighborhood).



**6. Predictable Building Locations:**

Place buildings at a Build-To line to position them in alignment and help form the Streetscape. Place buildings parallel to sidewalks and streets to keep the facades in a traditional orientation along the Streetscape.



**7. Traditional (On-Street) Parking:**

Provide on-street parking to add parking capacity, to add an element of multiple-use of streets, and to insulate pedestrians from vehicle travel lanes. Size parking stalls at 7 feet wide and 22 feet long.



**8. Unobtrusive (Off-Street) Parking:**

Provide off-street parking in parking courts internal to a block so that perimeter buildings serve as the "buffer". Screen or buffer off-street parking lots with a low street wall, fencing and landscaping.



**9. Public Gathering Places:**

Provide "pedestrian pockets" as gathering places and as part of the green infrastructure of a TND in the form of civic greens, plazas and squares. Embellish these spaces with Civic Art such as benches, pergolas, pavilions, gazebos, fountains, sculpture, and the like.



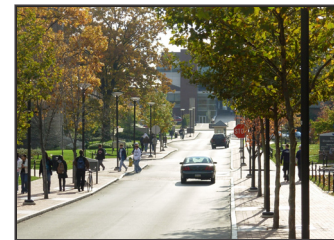
**10. Housing Choices:**

Provide a mix of housing including single-family detached, townhomes, and multi-family dwellings. Provide Live-Work Units with ground floor retail or office use, and apartment use above commercial.



**11. Pedestrian Accessibility:**

Provide and maintain a network system of sidewalks, pathways, trails, and crosswalks to strengthen the pedestrian-oriented environment, and to link together the neighborhoods, lots, and uses of the TNDs.



**12. Shade and Light:**

Install and maintain street trees and street lights along both sides of all new streets, to enable an effective shade canopy, and to provide an inviting and safe streetscape at night.



**13. Attractive Public Spaces:**

Install and maintain Vertical Infrastructure in the form of street trees, street lights, pavilions, gazebos, pergolas, sculpture, fountains, fences, walls, and the like, to provide an attractive public realm in the TND Overlay Districts.

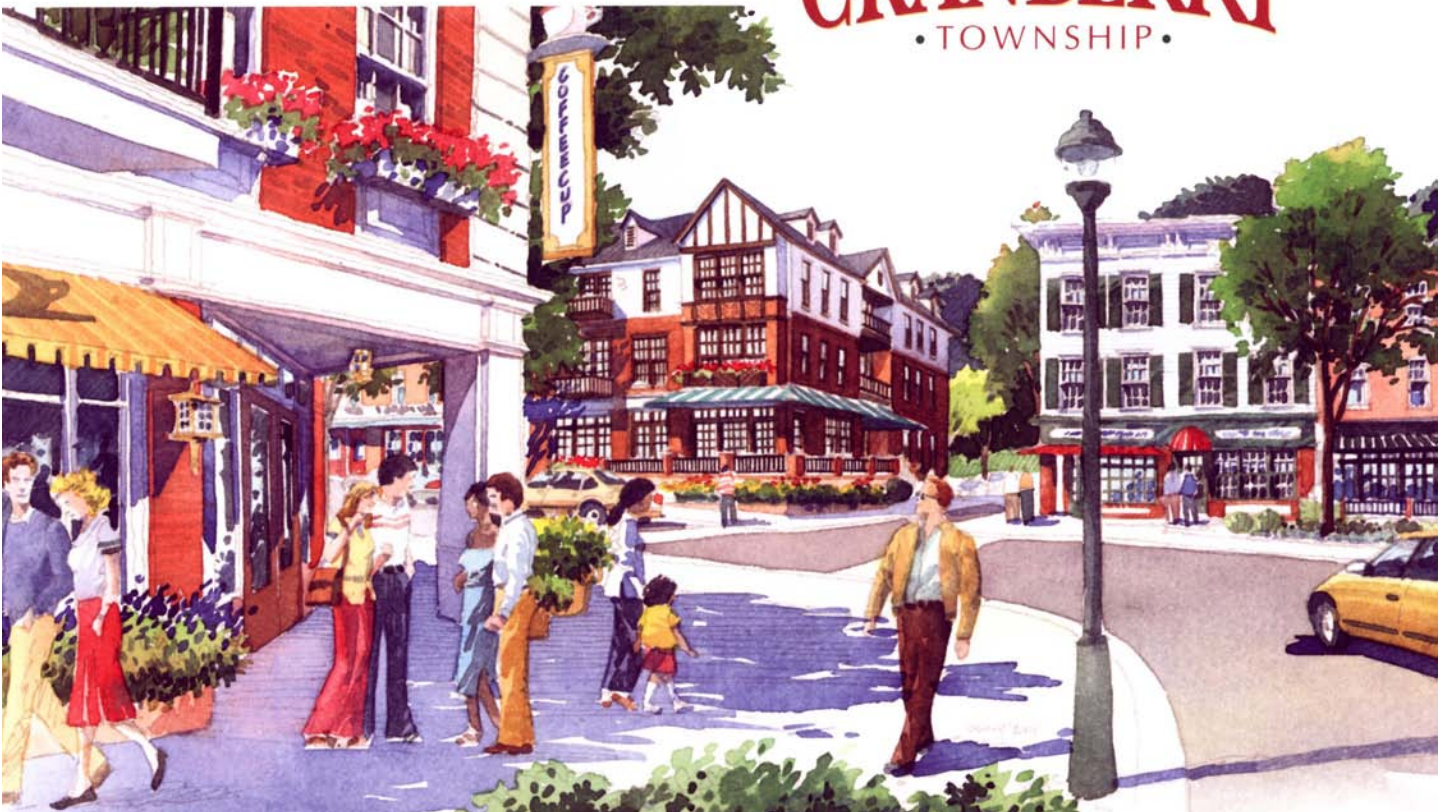


EXHIBIT 'B'

# General Manual of Written and Graphic Design Guidelines

## Traditional Neighborhood Development (TND) Overlay Districts

Cranberry Township - Butler County, PA



# **General Manual of Written and Graphic Design Guidelines for TND Overlay Districts**

## **Cranberry Township - Butler County, PA**

### Outline of Contents:

July 19, 2007; August 23, 2007; September 17, 2007;

October 26, 2007; Revised Final Draft: January 2, 2008

1. Overall Goals
2. Overall Neighborhood Structure & Blocks
3. Streetscape & Street Walls
4. Building Location
5. Street Network
6. Alleys & Service Lanes
7. Pedestrian Orientation
8. Sidewalks & Street Edge Strips
9. Crosswalks
10. Trails & Pedestrian Paths
11. Street Trees and Other Landscaping
12. Street Lights
13. Civic Uses and Civic Art
14. Pergolas, Pavilions & Gazebos
15. Village Greens, Parks & Squares
16. Green Court
17. Single-Family Detached Dwellings
18. Typical Lot Layouts: Single-Family Detached Dwellings
19. Garages: Detached and Attached
20. Granny Flat/Mother-in-Law Suite
21. Single-Family Attached Dwellings
22. Duplex Dwellings
23. Typical Lot Layouts: Attached Dwelling Units
24. Multi-Family Dwellings
25. Live-Work Units
26. Buildings: Architecture & Minimum Height
27. Commercial Building Architecture
28. Neighborhood Center Retail (Smaller scale buildings)
29. Neighborhood Center Retail (Medium to Larger scale buildings)
30. Office and/or Residential Use Over First Floor Retail
31. Other Building Types
32. Building Wall Lights
33. Building Design & Materials
34. Street Furniture
35. Off-Street Parking Lots
36. Structured Parking
37. On-Street Parking
38. Accessory Structures
39. Signage
40. Wayfinding Signage
41. Traffic Signals and Signs
42. Traffic Calming
43. Stormwater Management
44. Maintenance of Improvements

# **General Manual of Written and Graphic Design Guidelines for TND Overlay Districts** **Cranberry Township - Butler County, PA**

The Design Guidelines apply to each TND District as indicated below.

July 19, 2007; August 23, 2007; September 17, 2007; October 26, 2007; January 2, 2008

		<u>Applicability</u>		
		<u>TND-1</u>	<u>TND-2</u>	<u>TND-3</u>
1.	Overall Goals	•	•	•
2.	Overall Neighborhood Structure & Blocks	•	•	•
3.	Streetscape & Street Walls	•	•	•
4.	Building Location	•	•	•
5.	Street Network	•	•	•
6.	Alleys & Service Lanes	•	•	•
7.	Pedestrian Orientation	•	•	•
8.	Sidewalks & Street Edge Strips	•	•	•
9.	Crosswalks	•	•	•
10.	Trails & Pedestrian Paths	•	•	(•)
11.	Street Trees and Other Landscaping	•	•	•
12.	Street Lights	•	•	•
13.	Civic Uses and Civic Art	•	•	•
14.	Pergolas, Pavilions & Gazebos	•	•	•
15.	Village Greens, Parks & Squares	•	•	•
16.	Green Court	•	•	•
17.	Single-Family Detached Dwellings	•	(•)	(•)
18.	Typical Lot Layouts: Single-Family Detached Dwellings	•	•	(•)
19.	Garages: Detached and Attached	•	•	(•)
20.	Granny Flat/Mother-in-Law Suite	•	•	(•)
21.	Single-Family Attached Dwellings	•	•	•
22.	Duplex Dwellings	(•)	(•)	(•)
23.	Typical Lot Layouts: Attached Dwelling Units	•	•	•
24.	Multi-Family Dwellings	(•)	•	•
25.	Live-Work Units	(•)	•	•
26.	Buildings: Architecture & Minimum Height	•	•	•
27.	Commercial Building Architecture	•	•	•
28.	Neighborhood Center Retail (Smaller scale buildings)	•	•	•
29.	Neighborhood Center Retail (Medium to Larger scale buildings)	--	•	•
30.	Office and/or Residential Use Over First Floor Retail	(•)	•	•
31.	Other Building Types	•	•	•
32.	Building Wall Lights	•	•	•
33.	Building Design & Materials	•	•	•
34.	Street Furniture	•	•	•
35.	Off-Street Parking Lots	•	•	•
36.	Structured Parking	--	•	•
37.	On-Street Parking	•	•	•
38.	Accessory Structures	•	•	•
39.	Signage	•	•	•
40.	Wayfinding Signage	(•)	•	•
41.	Traffic Signals and Signs	--	--	•
42.	Traffic Calming	•	•	•
43.	Stormwater Management	•	•	•
44.	Maintenance of Improvements	•	•	•

Note: (•) = Optional



# Overall Goals

## Traditional Neighborhood Development (TND) Overlay Districts Cranberry Township - Butler County, PA



Summerset at Frick Park: TND Precedent



South Side Works Streetscape: TND Precedent

### Legislative Intent:

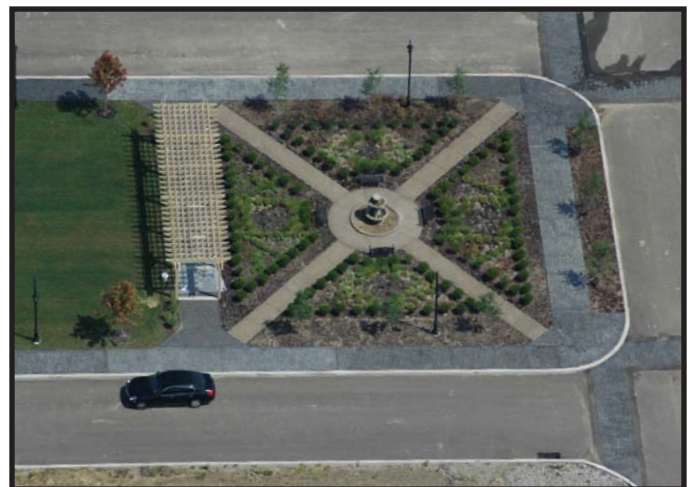
- 1.1 This Manual is intended to comply with Section 708-A of the Pennsylvania Municipalities Planning Code titled: Manual of Written and Graphic Design Guidelines.
- 1.2 Placemaking, as described and shown in this Manual, is intended to create a more functional and attractive outcome for the quality of life in Cranberry Township.
- 1.3 The overall goals of this Manual are intended to build a better connected place in Cranberry Township.

### Design Guidelines:

- 1.4 This Manual shall be utilized in conjunction with Exhibit 'A' the Guiding Principles for Traditional Neighborhood Developments in Cranberry Township.
- 1.5 This Manual shall be utilized to plan, design, construct and maintain buildings, structures, streetscapes, landscapes and hardscapes.
- 1.6 The places, spaces, buildings, streetscapes, etc. as shown in this Manual shall be emulated.



Streetscape Precedent: Zelenople



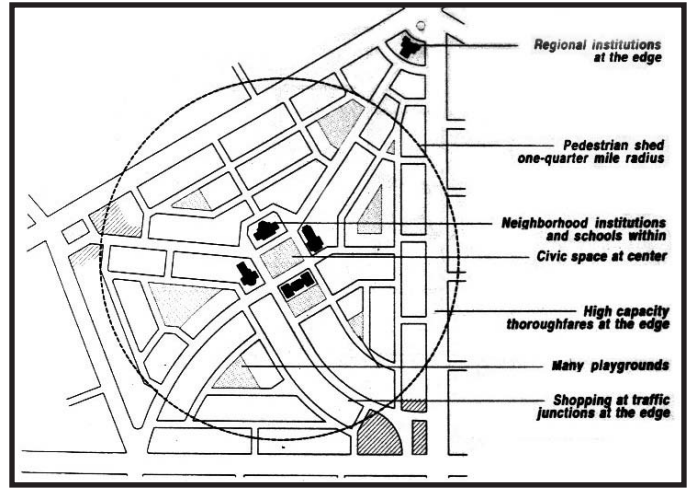
Civic Green at Georgetown Square, Cranberry Township

# Overall Neighborhood Structure & Blocks

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Butler, PA: Neighborhood Structure Precedent



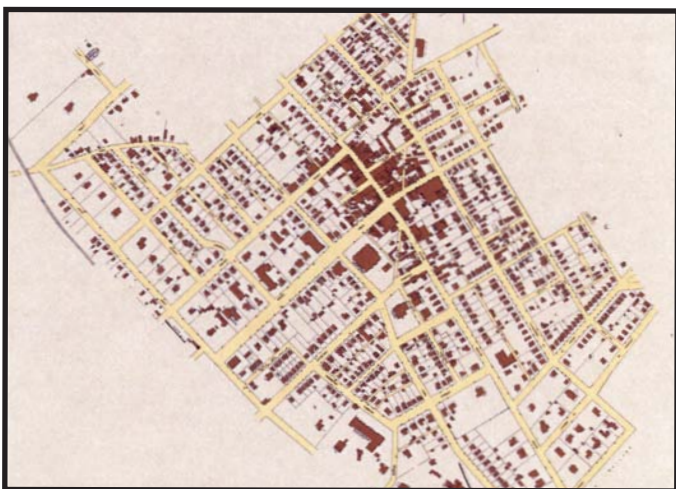
Neighborhood of 40 Acres Created by 5 to 10 Minute Walk Zone

## Legislative Intent:

- 2.1 The Traditional Neighborhood Development Overlay Districts, TND-1, TND-2 and TND-3 are intended to form neighborhoods.
- 2.2 Neighborhoods are intended to be organized by blocks created by an interconnected street network.

## Design Guidelines:

- 2.3 Neighborhoods formed by an interconnected network of blocks shall be created.
- 2.4 An interconnected street and alley network shall be provided.



Historic Sanborn Map, Sewickley, PA



Compact, Mixed-Use Neighborhood: Sewickley, PA



# Streetscape & Street Walls

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Streetscape at Eagleview, Lionville, PA



Streetscape Formed by Buildings and Street Walls, West Chester, PA

## Legislative Intent:

- 3.1 The Streetscape is intended to be formed by buildings located close to sidewalks.
- 3.2 The Streetscape is intended to be enhanced with such features as street trees, street lights, fences, sidewalks, porches, stoops, and like type amenities.

## Design Guidelines:

- 3.3 A Streetscape with buildings located close to sidewalks shall be created.
- 3.4 Street Walls, with buildings in alignment, shall be provided.
- 3.5 The Streetscape shall be embellished with street trees, street lights, sidewalks, fences porches, stoops and other front yard amenities.
- 3.6 Whenever buildings cannot form the Street Wall, a solution similar to those shown on pages 3.1 to 3.4 shall be utilized.



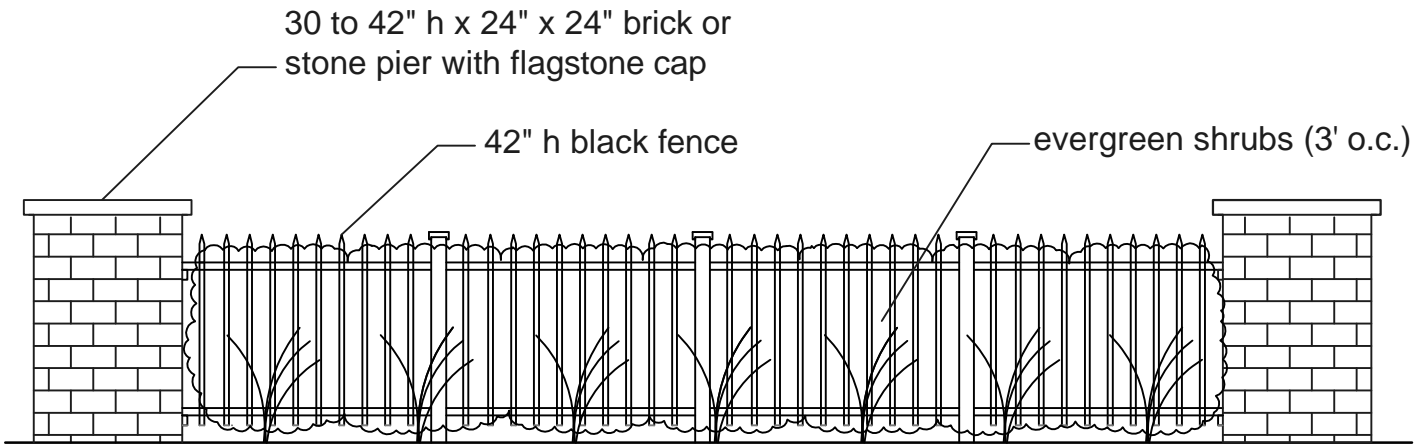
Street Wall, Beaver, PA



Streetscape, Beaver, PA

# Streetscape & Street Walls

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



TYPICAL SECTION OF PIER, FENCE,  
AND HEDGE



BRICK PIER, FENCE, AND HEDGE AS PARKING LOT  
SCREEN



# Streetscape & Street Walls

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA

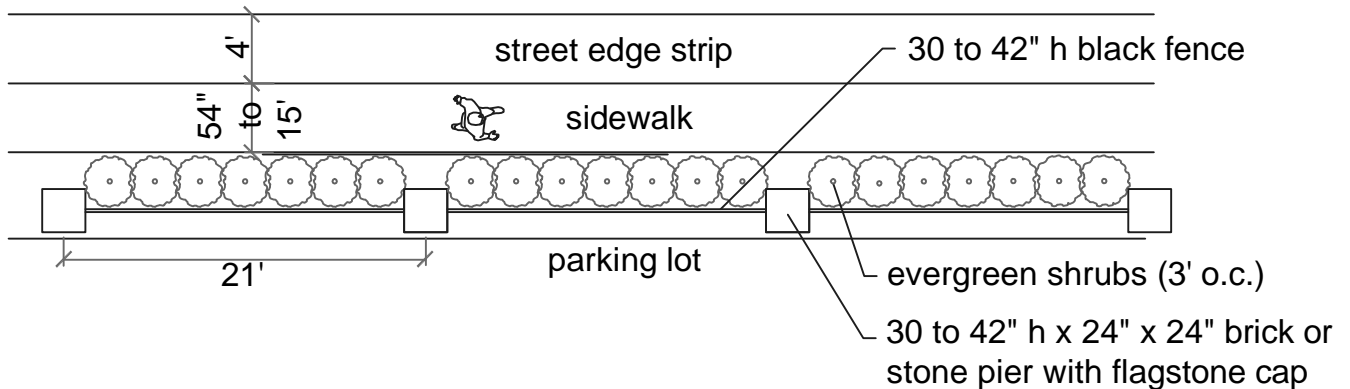
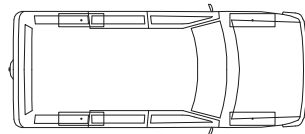
30 to 42" h x 24" x 24"  
brick or stone pier with  
flagstone cap

evergreen shrub

42" h black  
fence



TYPICAL ELEVATION OF PIER, FENCE,  
AND HEDGE

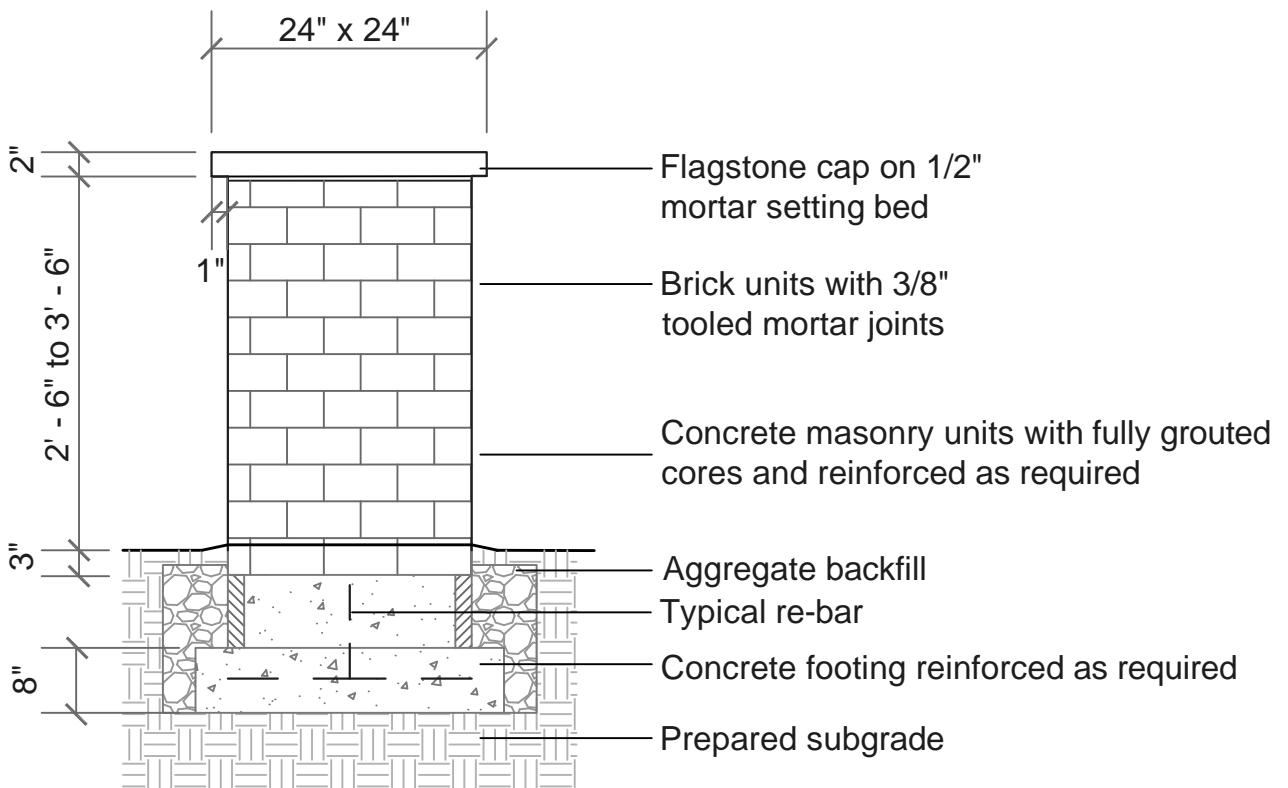
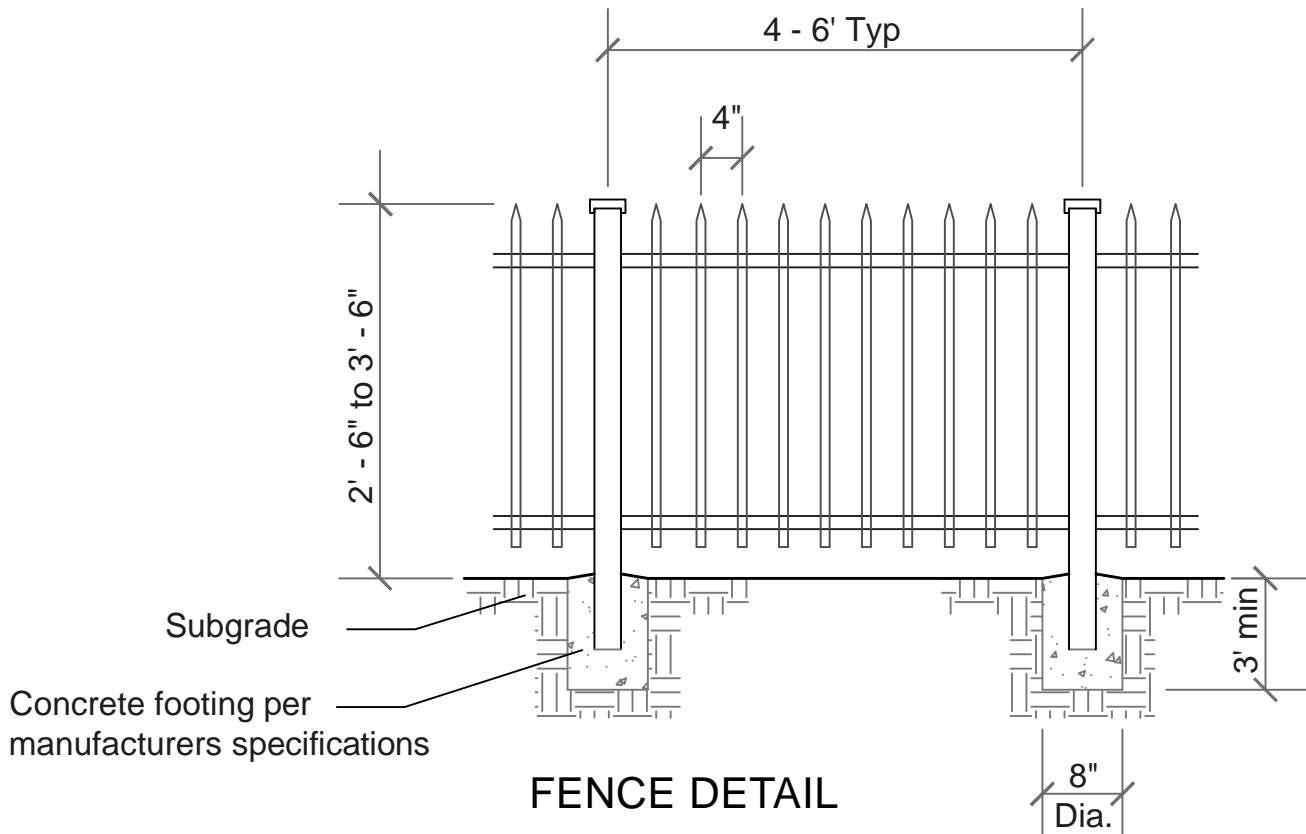


TYPICAL PLAN VIEW OF PIER, FENCE,  
AND HEDGE

# Streetscape & Street Walls

Traditional Neighborhood Development (TND) Overlay Districts

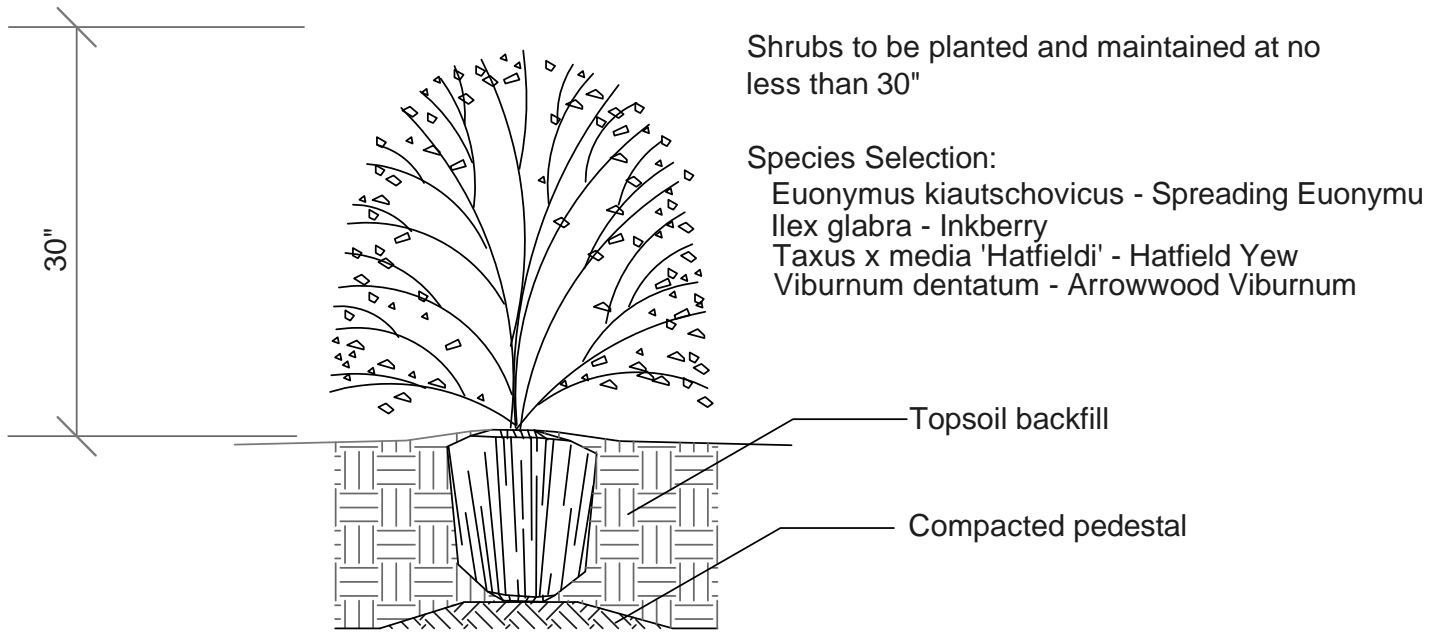
Cranberry Township - Butler County, PA





# Streetscape & Street Walls

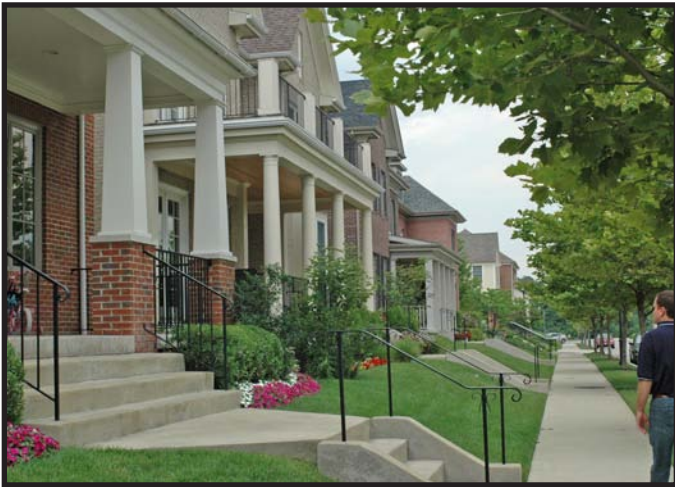
Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



TYPICAL SHRUB DETAIL

# Building Location

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Buildings in Alignment: Summerset at Frick Park



Buildings Adjoining Sidewalk: South Side Works

## Legislative Intent:

4.1 Buildings are intended to be located in general alignment with other buildings on a block.

## Design Guidelines:

- 4.2 Buildings shall be placed at a Build-To Line.
- 4.3 At least 60% of the building facade shall be along the Build-To line. Therefore, up to 40% of the building facade may have a recess or projection to add variety and diversity to the building.
- 4.4 New Buildings shall adjoin sidewalks at street corners, (and parking shall be located behind buildings), unless a village green, plaza or square is provided.
- 4.5 New Buildings shall be in alignment to form the space between buildings as the traditional streetscape of a TND.



Buildings Adjoining Sidewalk, Beaver, PA



Space Between Buildings Forming Streetscape: Zelenople, PA



# Street Network

## Traditional Neighborhood Development (TND) Overlay Districts Cranberry Township - Butler County, PA



Interconnected Street & Alley Network in Traditional Neighborhood, West Chester, PA



Interconnected Street & Alley Network: Summerset at Frick Park

### Legislative Intent:

- 5.1 An interconnected street and alley network is intended to allow for enhanced vehicular traffic flow.
- 5.2 An interconnected street and alley network is also intended to promote a connected sidewalk network and pedestrian circulation system.

### Design Guidelines:

- 5.3 An interconnected network of streets and alleys shall be created in accordance with the illustrations on pages 5.1 through 5.4.
- 5.4 On-street parking shall be provided to the maximum extent possible.
- 5.5 Village Greens shall be provided periodically along Streets to add to the green infrastructure of a TND.
- 5.6 Sidewalks shall be provided along both sides of all Streets (see page 7).
- 5.7 Upright raised concrete curbs shall be provided along new streets (see page 5.4).

Continued on pages 5.1 to 5.4



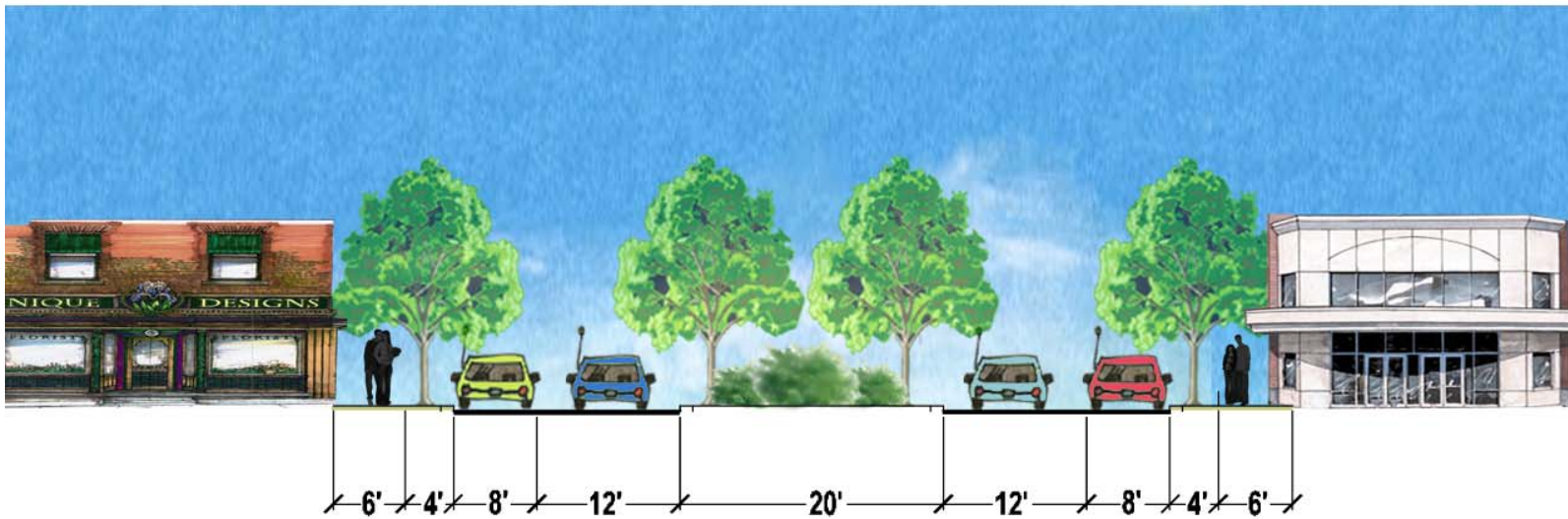
Interconnected Street & Alley Network at The Kentlands TND, Gaithersburg, MD



Street Network, Kentlands TND, Gaithersburg, MD

# Street Network - Street Sections

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA

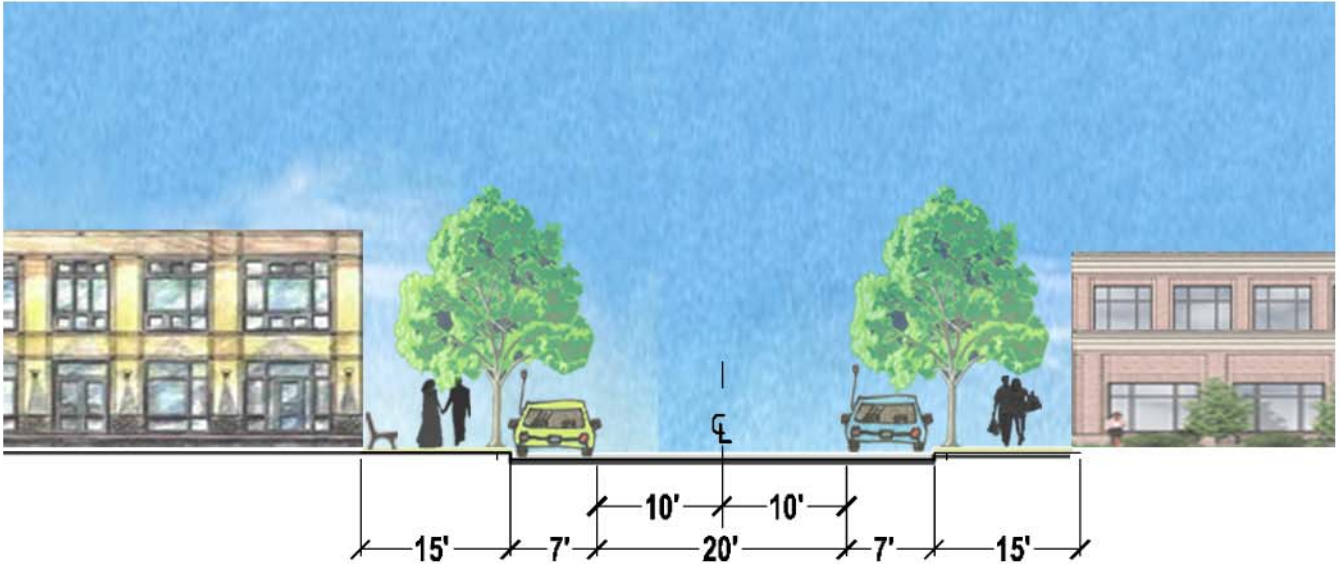


Typical Street Section of Boulevard / Avenue / Parkway  
(Parallel Parking on Both Sides)  
(Note: Also refer to RD-25)

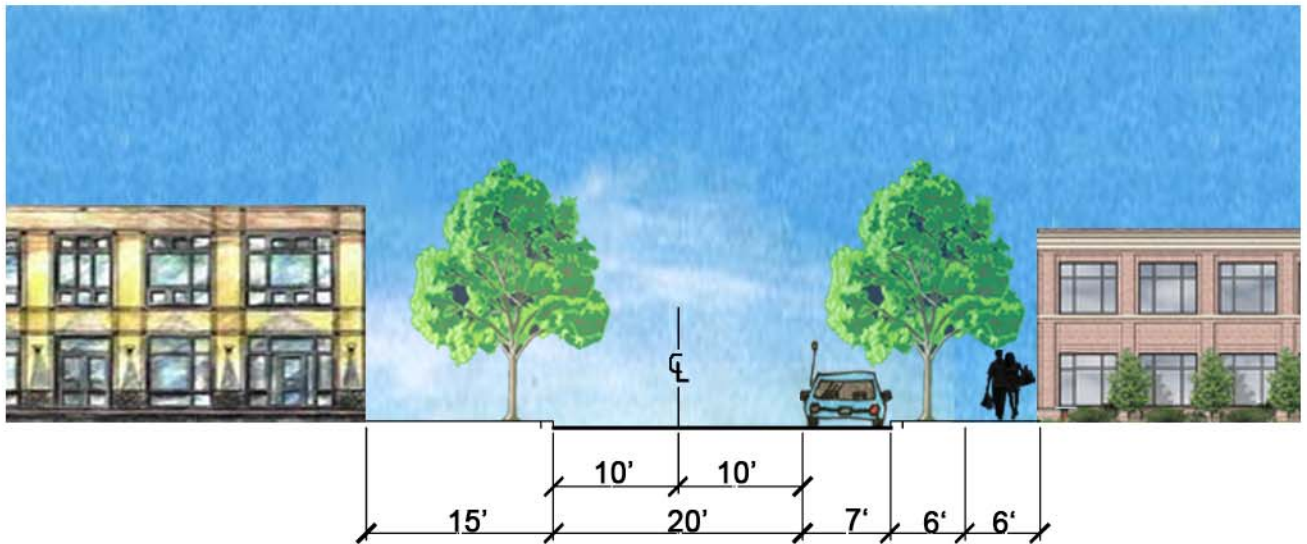


# Street Network - Street Sections

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



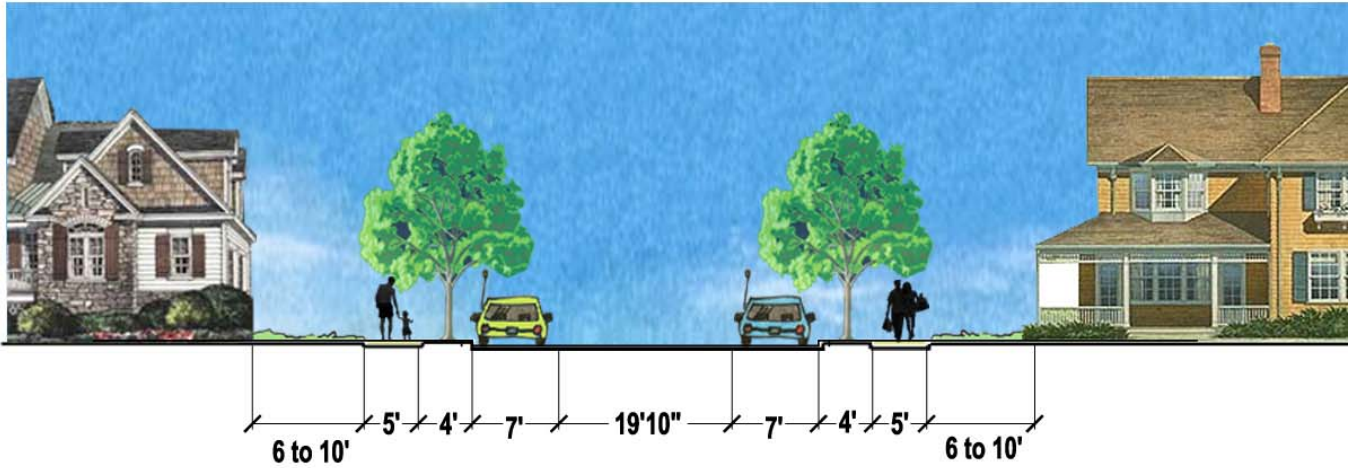
Typical Street Section of Main Street  
(Parallel Parking on Both Sides)  
(Note: Also refer to RD-22)



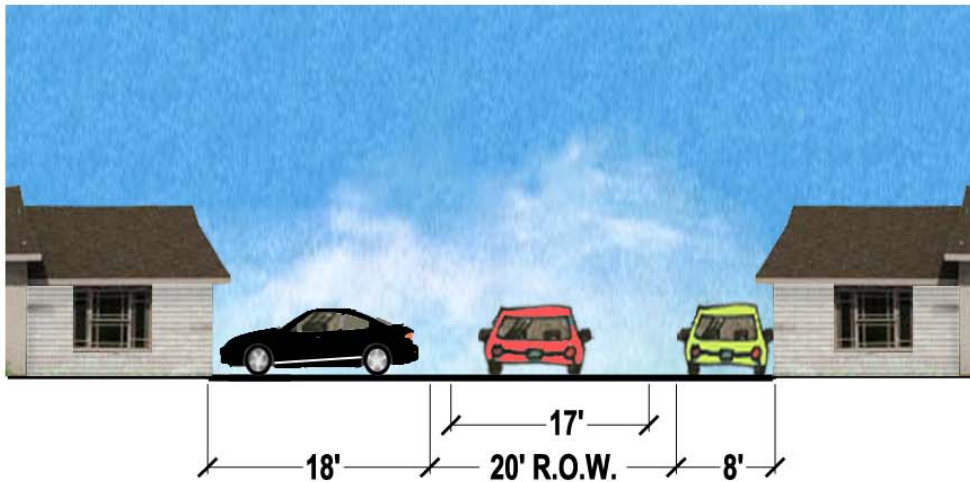
Typical Street Section of Main Street  
(Parallel Parking on One Side)  
(Note: Also refer to RD-23)

# Street Network - Street Sections

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Typical Neighborhood Street Section  
(Parallel Parking on Both Sides)  
(Note: Also refer to RD-26)



Typical Alley / Service Lane  
(Note: Also refer to RD-24)



# Street Network - Street Sections

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



TYPICAL ELEVATION OF PIER, FENCE,  
AND HEDGE

# Alleys & Service Lanes

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Alley-scape at Eagleview TND, Lionville, PA



Alley-scape at The Kentlands TND, Gaithersburg, MD

## Legislative Intent:

- 6.1 Well designed and well landscaped alleys are intended to be an asset.
- 6.2 Rear garages off alleys are intended to eliminate conventional curb cuts along street frontage, and promote curb appeal along the lot frontage.
- 6.3 Alleys are intended to provide opportunities for the installation of utilities, and for servicing a lot.

## Design Guidelines:

- 6.4 Alleys shall be provided to the maximum extent possible.
- 6.5 Two-way alley widths shall be at least 17 feet in width.
- 6.6 Alleys shall be landscaped with trees, shrubs, groundcovers, fences, and other features, to add charm and beauty (as shown in the photographs on this page).



Alley at The Kentlands TND, Gaithersburg, MD



One-way Alley Eagleview TND, Lionville, PA



# Pedestrian Orientation

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Crosswalk at Plaza, South Side Works



Town Center, South Side Works

## Legislative Intent:

7.1 Traditional Neighborhood Developments (TNDs) promote and foster pedestrian connectivity and to encourage walking to the maximum extent possible.

## Design Guidelines:

- 7.2 Sidewalks, pathways, trails, and crosswalks shall be installed and maintained throughout the three TND Overlay Districts.
- 7.3 Buildings, lots, and neighborhoods shall be linked through pedestrian thoroughfares.
- 7.4 Pedestrian pockets in the form of plazas, squares and other outdoor open spaces shall be created and maintained.
- 7.5 The pedestrian network of a TND shall connect to adjoining properties.



Cafe at Haile Village TND, Gainesville, FL



Crosswalk at Waterfront, Pittsburgh



# Sidewalks & Street Edge Strips

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Concrete Sidewalk with Grass Strip, Celebration, FL



Brick Sidewalk with Grass strip: Gaithersburg, MD

## Legislative Intent:

- 8.1 Sidewalks are intended to provide opportunities for pedestrian circulation.
- 8.2 Sidewalks are intended to add a pedestrian - friendly feature to the streetscape.
- 8.3 Street Edge Strips are intended to be a transition element between the sidewalk and the curb.

## Design Guidelines:

- 8.4 Sidewalks shall be in accordance with the Cranberry Township PPIC and the following standards.
- 8.5 Sidewalks at least 5'-0" in width shall be installed and maintained to be accessible and safe along both sides of all streets.
- 8.6 Sidewalks shall be installed and maintained to connect to buildings.
- 8.7 Sidewalks shall be separated from curbs with a grass strip of no less than 4 feet in width in the TND 1 Overlay District, and with a unit paver apron of no less than 3 feet in width in the TND 2 and TND 3 Overlay Districts.



Sidewalk and Street Edge Strip, Newpointe, SC



Sidewalk with Brick "Apron" at Main Street at Exton, Exton, PA



# Crosswalks

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Crosswalk, State Street, Media, PA



Well-Defined Crosswalks at Street Intersection, Easton Town Center, OH

## Legislative Intent:

- 9.1 Crosswalks are intended to continue the sidewalk system in Cranberry Township.
- 9.2 Crosswalks in driveway throats are also intended to continue the sidewalk system in Cranberry Township.

## Design Guidelines:

- 9.3 Crosswalks shall be at least 5'-0" in width when they cross streets, or as wide as the sidewalks to which they connect.
- 9.4 Crosswalks located in driveway throats across sidewalks shall be at least 5'-0" in width.
- 9.5 Crosswalks shall be unit pavers. E.P. Henry Mediterranean interlocking pavers, or approved equivalent shall be provided, as such unit pavers meet the Township's expectations.



Crosswalk, Beaver, PA



Crosswalk, The Streets at Cranberry



# Trails & Pedestrian Paths

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Struble Trail, Downingtown, PA



Bike Lane and Sidewalk

## Legislative Intent:

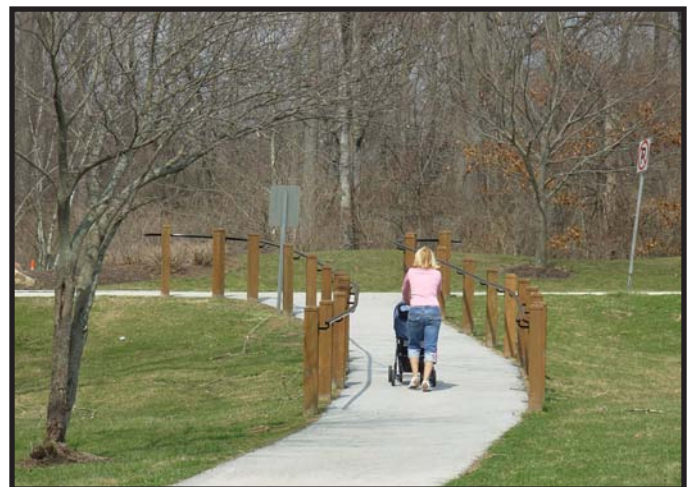
10.1 Trails are intended to be integral to the pedestrian network of Cranberry Township.

## Design Guidelines:

- 10.2 Eight (8) foot wide bicycle and pedestrian paths may be installed and maintained.
- 10.3 Bike lanes along a street with no on-street parking shall be at least five (5) feet wide.
- 10.4 Refer to page 8 for sidewalk specifications and refer to the Cranberry Township PPIC for additional details.
- 10.5 Trails and pedestrian paths shall connect to adjoining properties.



Struble Trail, Downingtown, PA



Miller Park, Exton, PA



# Street Trees & Other Landscaping

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Street Trees, Cranberry Township, PA



Street Trees: Cranberry Township

## Legislative Intent:

- 11.1 Street trees are intended to provide shade and screening, and add a graceful component to the Streetscape.
- 11.2 Shrubs, groundcovers, and perennials are intended to provide attractive layering and color along the Streetscape.
- 11.3 When placed in a regular opposite alignment along both sides of streets, the street trees are intended to form an Allee effect.

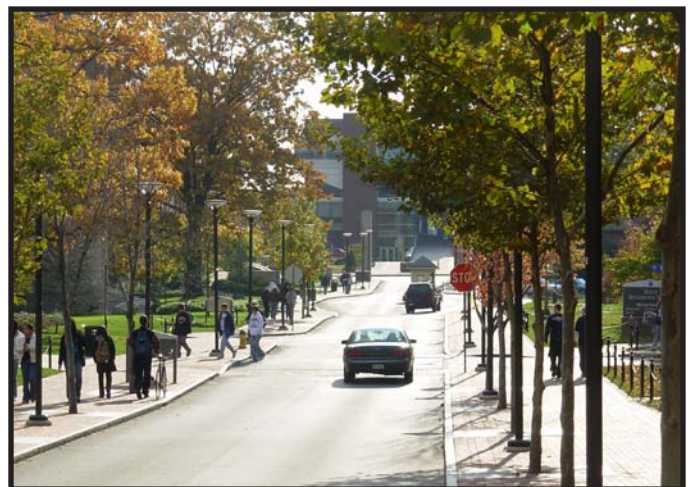
## Design Guidelines:

- 11.4 Street Trees shall be installed and maintained along both sides of all streets.
- 11.5 Parking lots located in front of buildings shall be screened with substantial street trees, and with other landscaping.
- 11.6 Deep rooted, stress-tolerant, street tree species shall be utilized.

Continued on page: 11.1



Street Trees, Butler, PA



Street Tree Allee

# Street Trees & Other Landscaping

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## Traditional Neighborhood Development (TND) Overlay Districts

### Cranberry Township - Butler County, PA

- 11.7 Street trees, at the time of planting, shall be no less than two and one-half (2 1/2") in caliper and shall be in accordance with the latest edition of the "American Standard for Nursery Stock," of the American Association of Nurserymen.
- 11.8 One (1) street tree shall be provided at an average interval of every thirty-five (35) linear feet of frontage along a street.
- 11.9 All street trees shall be subject to Township approval.
- 11.10 Hedges shall be composed of shrubs which are no less than thirty (30) inches in height when installed.
- a. Shrubs planted to form hedges shall be spaced at an interval that they will form a continuous visual screen within four (4) years of the date when they are planted.
  - b. All hedges shall be subject to Township approval.

# Street Lights

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Street Light at The Streets at Cranberry



Street Lights: South Side

## Legislative Intent:

- 12.1 Pedestrian-scaled street lights are intended to provide a safe and attractive complement to the Streetscape.
- 12.2 Street light posts can be equipped to support an attached vertical banner.

## Design Guidelines:

- 12.3 Pedestrian-scaled street lights shall be installed and maintained along both sides of all streets.
- 12.4 Street lights shall be located to complement sidewalk and street tree features along the Streetscape.
- 12.5 The Spring City Electrical model, or approved equivalent shall be utilized, as shown on page 12.2.

Continued on pages 12.1 and 12.2



Nightscape: Main Street at Exton, Exton, PA



Street Light: Summerset at Frick Park



# Street Lights

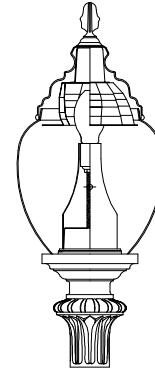
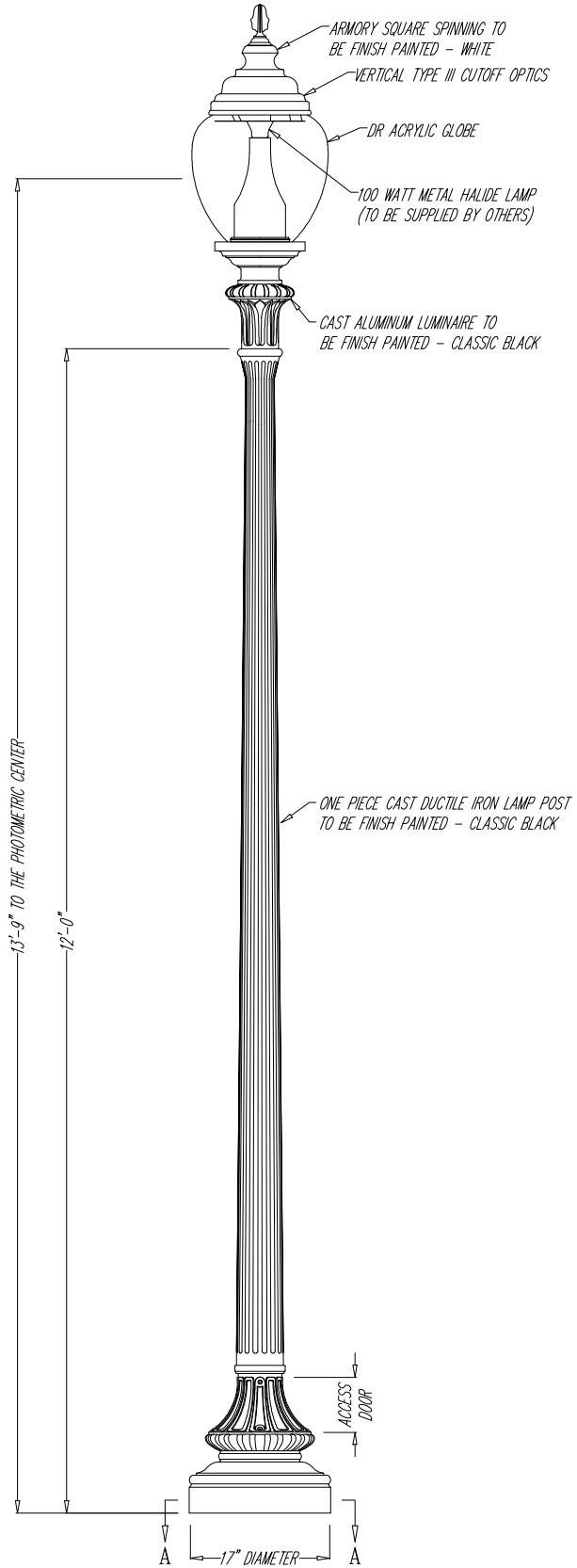
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## Traditional Neighborhood Development (TND) Overlay Districts Cranberry Township - Butler County, PA

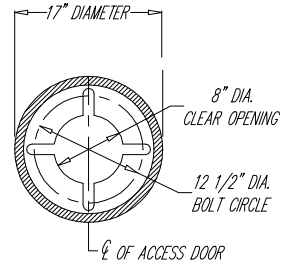
- 12.6 Street Lights shall be installed and maintained at an average interval of seventy (70) to one hundred five (105) feet.
- 12.7 The Spring City Electrical Manufacturing Company Street light shall consist of the following components, or approved equivalent:
- a. a 12 foot tall Washington pole, black cast iron;
  - b. a Washington fitter;
  - c. a 118 Globe, metal halide bulb (100 Watt)
  - d. a top lid painted white to match the 118 Globe, with deflector on inside.
- 12.8 The detail on page 12.2, or approved equivalent, shall apply.

# Street Lights

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



LUMINAIRE DETAIL  
N.T.S.



SECTION A-A  
N.T.S.

LUMINAIRE CATALOG NO.: ALMWSH-MH100/OTRD/TBD/SM-VCS-PS11-AS-FPP-CB-XX  
POST CATALOG NO.: DPSWSH-17-12-TN3.5/3-DC-323/1NW-CB



Spring City Electrical Mfg. Co.

SINCE 1843 HALL AND MAIN STREETS - P.O. DRAWER 19 - SPRING CITY, PA. 19475 - PHONE (610) 948-4000  
FAX (610) 948-5577

DESCRIPTION	THE WASHINGTON 12P DUCTILE IRON POST WITH THE WASHINGTON VERTICAL TYPE III CUTOFF LUMINAIRE		
CUSTOMER	CRANBERRY TOWNSHIP, PA		
JOB			
SCALE	DRAWN BY:	DATE	SPEC. NO.
N.T.S.	B.K.R.	07-18-07	S101397

This drawing is property of Spring City Elect. Mfg. and is issued to the recipient with the understanding that it shall not be copied, duplicated, passed on to unauthorized parties, nor used for any purpose other than that for which it is specifically furnished except with Spring City's written permission.



# Civic Uses & Civic Art

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Civic Plaza, Eagleville, Lionville, PA



Post Office and Shops, Mashpee Commons, Mashpee, MA

## Legislative Intent:

- 13.1 Civic Uses are intended to be such uses as a post office, private mail facility, meeting hall, fire station, school, church, and library.
- 13.2 Civic art is intended to include but is not limited to: pavilions, pergolas, benches, sculpture gardens, fountains and monuments.

## Design Guidelines:

- 13.3 Civic uses shall be provided to diversify a TND.
- 13.4 Civic uses shall be located in the neighborhood center of a TND.
- 13.5 Civic art shall be provided within a TND as an enhancement to a green, park, or other open space feature.



Civic Green at Georgetown Square, Cranberry Township



Civic Plaza, Sewickley, PA



# Pergolas, Pavilions & Gazebos

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Pergola at Georgetown Square, Cranberry Township



Main Street Pavilion, Kentlands, MD

## Legislative Intent:

14.1 Pergolas, Pavilions and Gazebos are intended to provide a “canopy” element to help enclose and add pedestrian scale to a public space.

## Design Guidelines:

- 14.2 Pergolas, Pavilions and Gazebos shall be provided as attractive “vertical infrastructure” of a TND.
- 14.3 Pergolas, Pavilions and Gazebos shall be utilized as structures for a terminated vista.
- 14.4 One (1) Gazebo or Pavilion shall be provided for up to each 25 gross acres of property in a TND.



Gazebo at Miller Park, Exton, PA



Pavilion as Terminated Vista: Summerset at Frick Park



# Village Greens, Parks & Squares

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Example of Village Square, Legacy Village, OH



Town Square, South Side Works

## Legislative Intent:

- 15.1 The Village Greens, Parks and Squares are intended to provide an attractive place for people to gather and relax.
- 15.2 The Village Greens, Parks and Squares are intended to provide a viable space around which dwellings can be grouped.

## Design Guidelines:

- 15.3 Village Greens, Parks and Squares shall be provided within the TNDs.
- 15.4 Village Greens, Parks and Squares shall be constructed as level and useable public areas.
- 15.5 Village Greens, Parks and Squares with shall be embellished benches, gazebos, pavilions, plantings, gardens, and the like.



Civic Plaza, Sewickley, PA



Square at Georgetown Square, Cranberry Township



# Green Court

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Green Court, Lantern Hill, Doylestown, PA



Green Court, Kentlands, MD

## Legislative Intent:

- 16.1 The Green Court is intended to provide an opportunity for Common TND Open Space that is internal to or at the edge of a block.
- 16.2 The Green Court is intended to be a viable option for Common TND Open Space.

## Design Guidelines:

- 16.3 Green Courts may be provided to add variety to the types of Common TND Open Spaces.
- 16.4 Benches, gazebos and other civic art shall be provided in the Green Court.



Green Court, Kentlands, MD



Forbes Terrace, Green Court, Squirrel Hill



# Single-Family Detached Dwellings

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Small Lot Single-Family Detached Dwellings, Kentlands - Gaithersburg, MD



Example of Single-Family Dwellings, Eagleview, Lionville, PA

## Legislative Intent:

- 17.1 Single-family detached dwellings on small lots are intended to provide an important building type in TND neighborhoods.
- 17.2 Such dwellings with a front porch are intended to provide an attractive element that enhances the streetscape.

## Design Guidelines:

- 17.3 Single-family detached dwellings may be provided in the TND-1 and the TND-2 Overlay Districts.
- 17.4 At least 80% of such dwellings shall be accessed with a rear garage from an alley.
- 17.5 At least 80% of such dwellings shall have a front porch, with a minimum 5 foot depth and 12 foot width.
- 17.6 The Curb appeal of dwellings shall be enhanced with attractive landscaping.



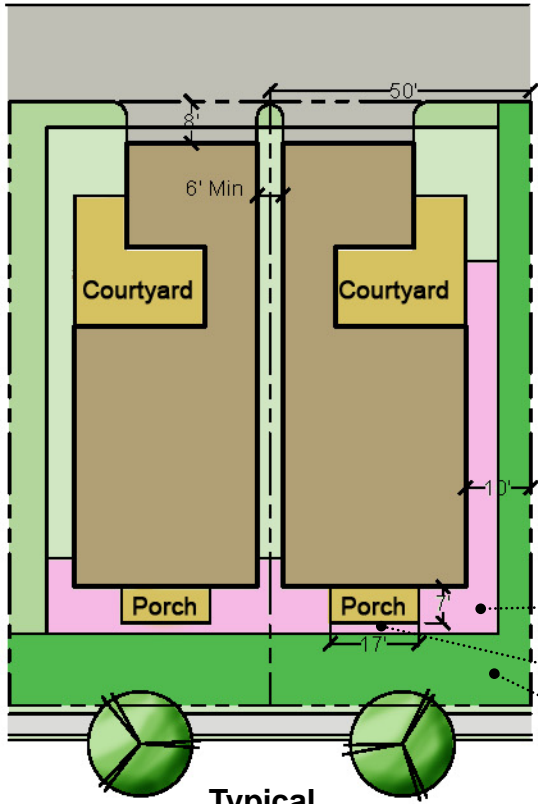
Single-Family Detached Dwellings, Weatherstone, Ludwigs Village, PA



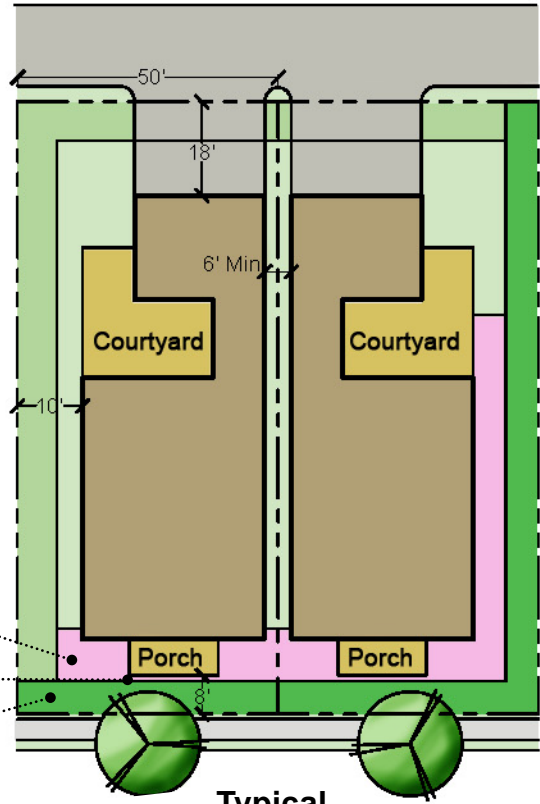
Single-Family Detached Dwellings, Wyndcrest, Sandy Spring, MD

# Typical Lot Layouts: Single-Family Detached

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA

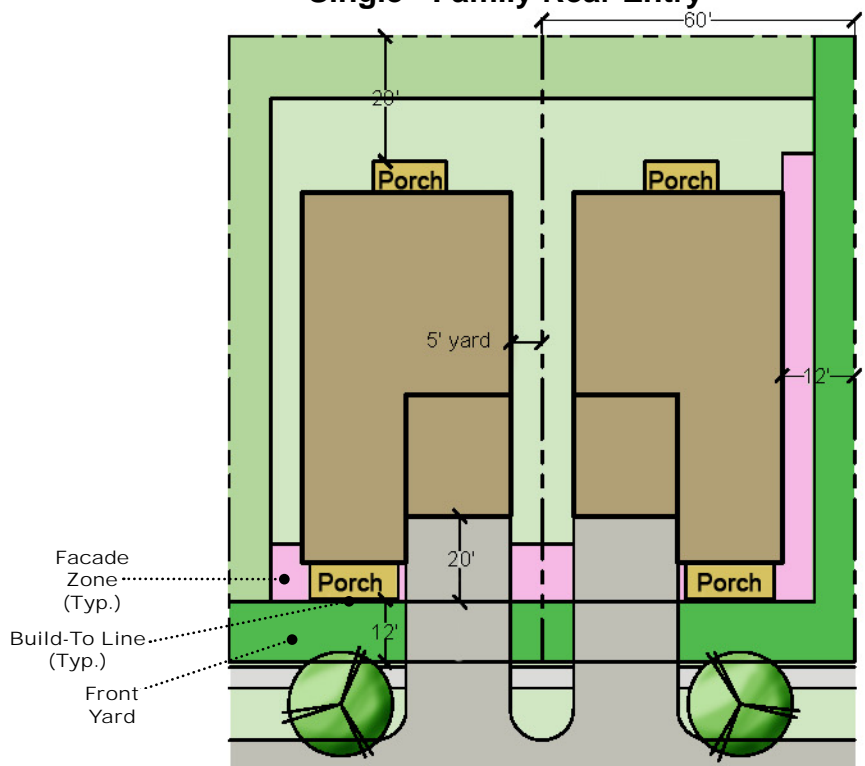


**Typical  
Single - Family Rear Entry**



**Typical  
Single - Family Rear Entry**

Note: See Section 27-505. for additional provisions.



**Typical  
Single - Family Front Entry**



# Garages: Detached and Attached

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Detached Garage, Weatherstone TND, Ludwigs Corner, PA



Rear Detached Garage Off Alley, Eagleview, PA

## Legislative Intent:

19.1 Detached and Attached Garages off Alleys are intended to provide for the retention of a pedestrian streetscape, without interruptions of curb cuts and sidewalk crossings.

## Design Guidelines:

- 19.2 An 8 to 18 foot driveway apron shall be provided for garages accessed from Alleys (see page 18).
- 19.3 If the lot depth is not sufficient to provide a detached garage, an attached or integral garage connected to the dwelling unit may be provided.
- 19.4 Whenever a garage is not accessed off an alley, it shall be set back at least 20 feet from the front facade or rotated so that the garage doors do not face any adjacent streets.



Detached Garage off Alley, Palmetto Bluff, Bluffton, SC



Detached Garage off Alley, Habersham TND, Beaufort, SC

# Granny Flat / Mother-in-Law Suite

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Carriage House / Mother-in-Law Suite: West Chester, PA



Apartments Above Garage, Kentlands, MD

## Legislative Intent:

20.1 The Granny Flat or Mother-in-Law Suite, as an Accessory Dwelling Unit to a single-family detached dwelling is intended to provide a great opportunity for affordable housing.

## Design Guidelines:

- 20.2 The Granny Flat or Mother-in-Law Suite may be located above the garage, within an existing carriage house, or within another accessory building.
- 20.3 The Accessory Dwelling Unit shall be accessed off the Alley.



Granny Flat, Kentlands, Gaithersburg, MD



Apartment Above Garage, Prospect TND, Longmont, CO



# Single-Family Attached Dwellings:

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Townhomes, Kentlands - Gaithersburg, MD



Townhomes, Belvedere at Doyle Square, Doylestown, PA

## Legislative Intent:

- 21.1 Townhomes and duplex/twin dwellings are intended to provide housing diversity within the TND Overlay Districts.
- 21.2 Such dwellings with a front portico are intended to provide an attractive streetscape element.

## Design Guidelines:

- 21.3 Single-family attached dwellings shall be provided in the TND-2 and TND-3 Overlay Districts, and may be provided in the TND-1 Overlay District.
- 21.4 Such dwellings with a rear garage shall be accessed from an alley.
- 21.5 A portico with a minimum depth of 6 feet and a minimum width of 6 feet shall be provided.
- 21.6 Single-family attached dwellings may include triplex, quadraplex and other numbers of units in the range of 3 to 7 in a row.



Townhomes, Wyncrest - Sandy Spring, MD



Townhomes, Sunset Island, Ocean City, MD



# Duplex Dwellings

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Duplex Units Eagleview Lionville, PA



Duplex with Gables and Front Porch: West Chester, PA

## Legislative Intent:

- 22.1 Duplex dwellings are intended to provide for an economy of lots, and units at both ends of the building.
- 22.2 Townhomes with three attached units are also intended to provide for an economy of lots with a high proportion of end units.

## Design Guidelines:

- 22.3 Duplex units may be provided in the TND-1, TND-2, and TND-3 Districts.
- 22.4 A variety of building types shall be created.
- 22.5 Duplex units should take on the character of single-family homes in western Pennsylvania.
- 22.6 Porches, porticos and stoops oriented to the street shall be provided.
- 22.7 A variety of roof lines, architectural features and materials shall be provided to create diversity.
- 22.8 Garages shall be accessed off the alley.



Duplex Dwelling, West Chester, PA

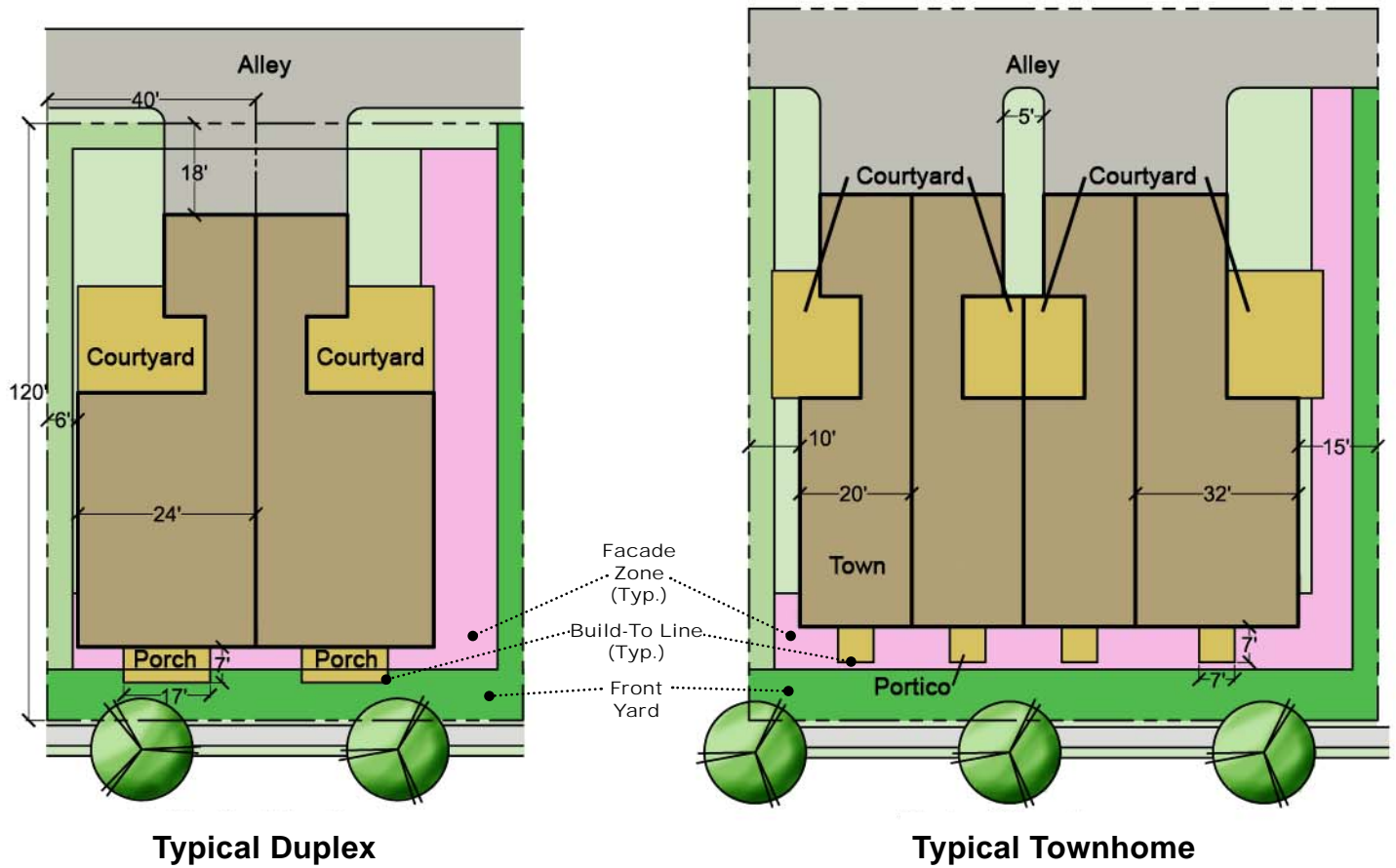


Duplex Dwellings: West Chester, PA



# Typical Lot Layouts: Attached Dwelling Units

Traditional Neighborhood Development (TND) Overlay Districts  
 Cranberry Township - Butler County, PA



Note: See Section 27-505. for additional provisions.

# Multi-Family Dwellings

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Summerset at Frick Park TND



Summerset at Frick Park TND

## Legislative Intent:

24.1 Multi-Family Dwellings are intended to provide an opportunity for more attainable housing, and workforce housing.

## Design Guidelines:

- 24.2 Multi-family dwellings may be provided in the TND-1, TND-2 and TND-3 Overlay Districts to diversify the housing stock.
- 24.3 A minimum habitable floor area of 500 square feet per dwelling unit shall be provided in the TND-3 Overlay District, and 750 square feet per dwelling unit in the TND-2 and TND-1 Overlay Districts.
- 24.4 Parking Courts are strongly encouraged for multi-family dwellings, where feasible.

continued on page 24.1



Carson Street Commons (Apartments), South Side Works



Portal to Interior Parking Court, Carson Street Commons  
(See page 24.3)



# Multi-Family Dwellings

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Forbes Terrace Apartments, Squirrel Hill



Beechwood Commons, Squirrel Hill: Parking for Condos Accessed from Interior Parking Court

## Legislative Intent:

24.5 Multi-Family Dwellings are also intended as infill development on smaller properties in the TND-2 Districts.

## Design Guidelines:

- 24.6 Multi-family dwellings may be constructed as infill development and redevelopment.
- 24.7 Multi-family dwellings shall be positioned in a compact arrangement.
- 24.8 Off-Street Parking accessed off alleys or parking courts shall be provided.



Apartments in Adjoining Neighborhood, Easton Town Center, OH

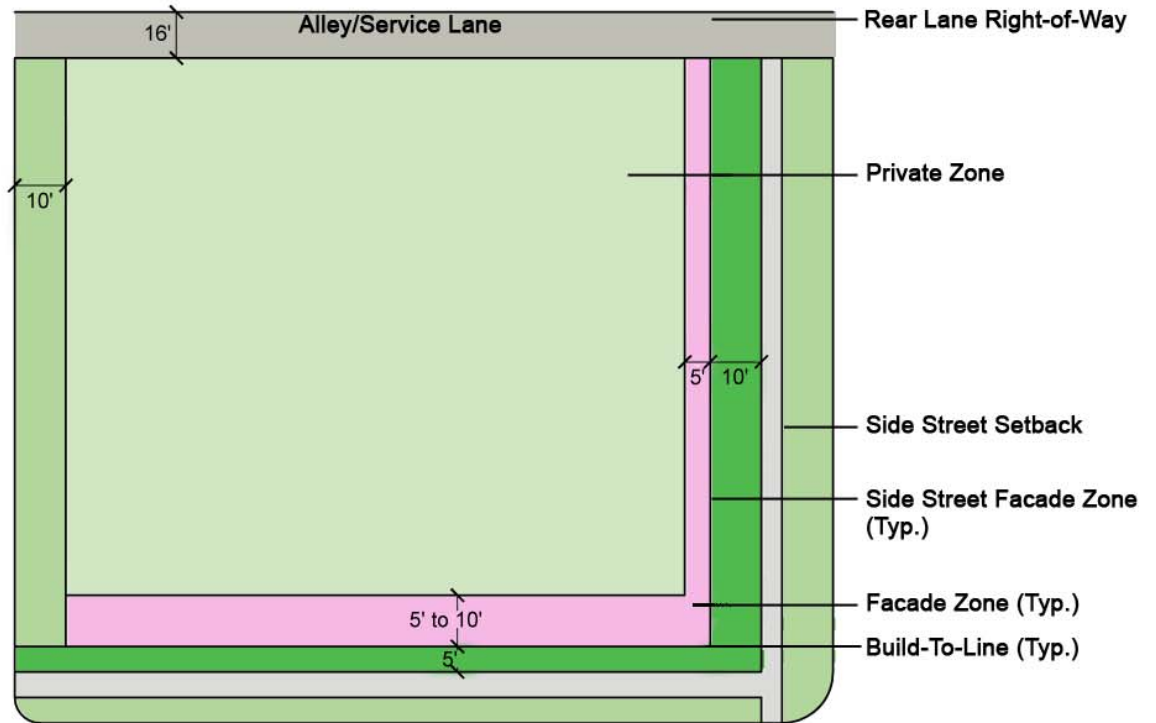


Beechwood Commons, Squirrel Hill

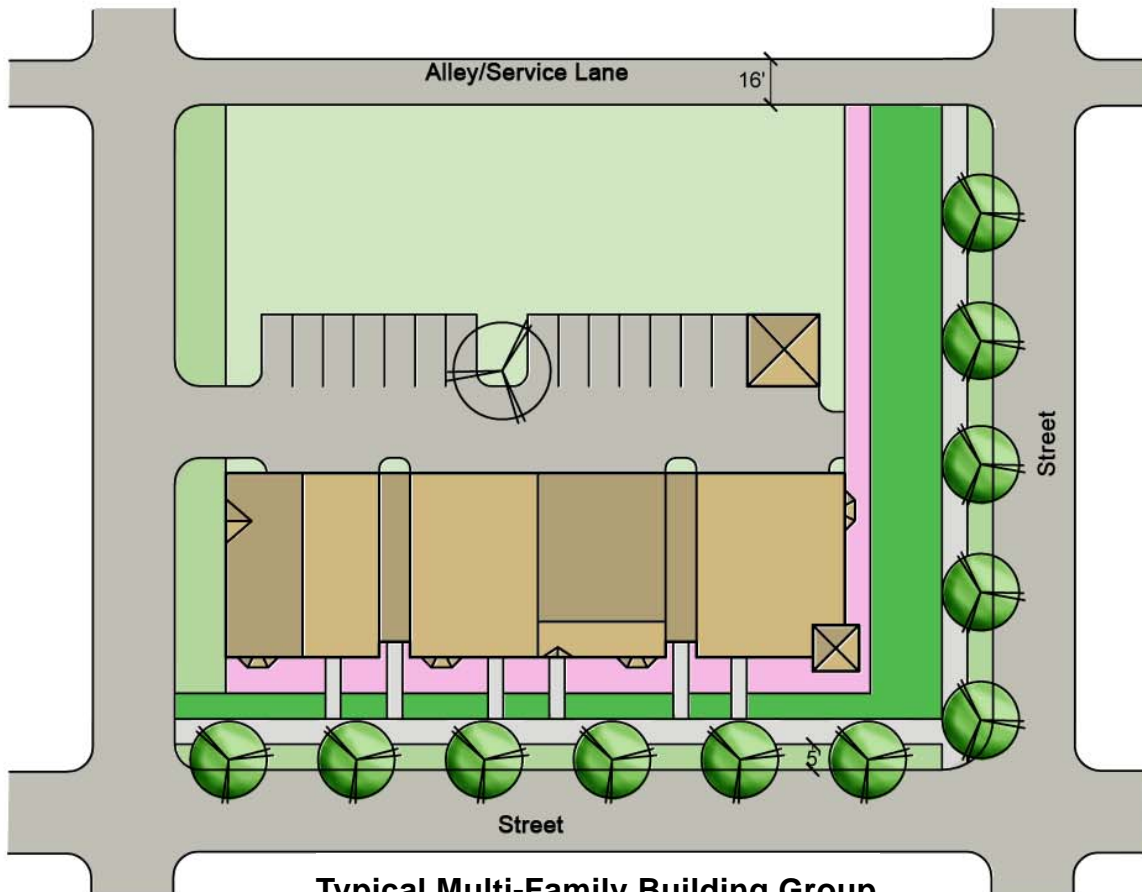
# Multi-Family Dwellings

Traditional Neighborhood Development (TND) Overlay Districts

Cranberry Township - Butler County, PA



**Typical Multi-Family Lot**

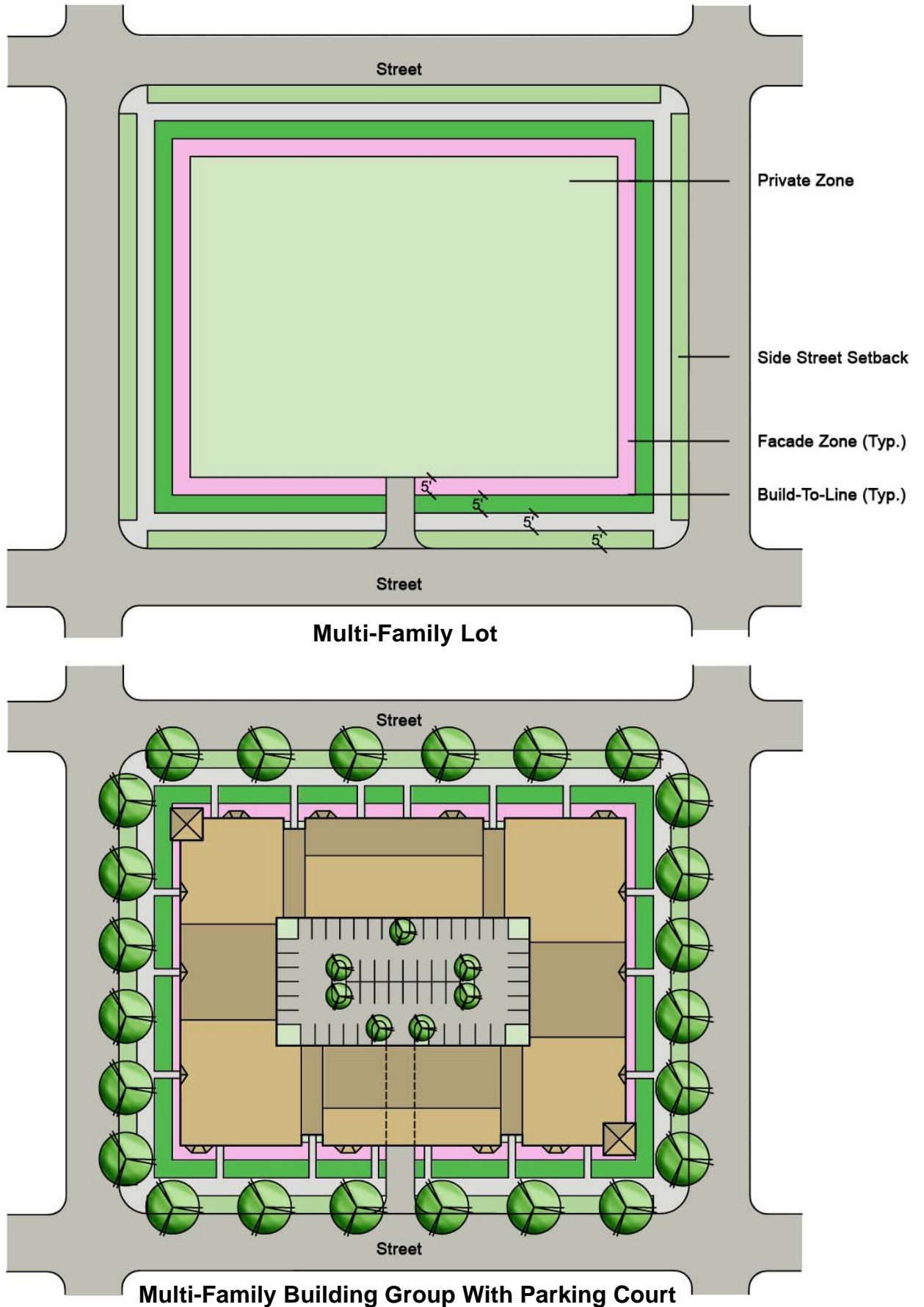


**Typical Multi-Family Building Group**



# Multi-Family Dwellings

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



# Live-Work Units

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Live-Work Units, Eagleview - Lionville, PA



Live-Work Unit, Eagleview - Lionville, PA

## Legislative Intent:

- 25.1 The Live-Work Unit is intended to provide an opportunity for a zero commute to work from a residence.
- 25.2 Live-Work Units are intended to be superb examples of vertical mixed-use buildings.

## Design Guidelines:

- 25.3 A ground floor commercial use such as shop, studio, office, cafe, deli, or personal service establishment shall be established and maintained.
- 25.4 A dwelling unit above the ground floor commercial use shall be established and maintained.
- 25.5 All Live-Work Units shall be constructed in accordance with the Uniform Construction Code (UCC), and shall be occupied as Live-Work capacity upon construction.
- 25.6 Off-Street parking for Live-Work Units shall be accessed off alleys.



Live Work Units, Habersham - SC

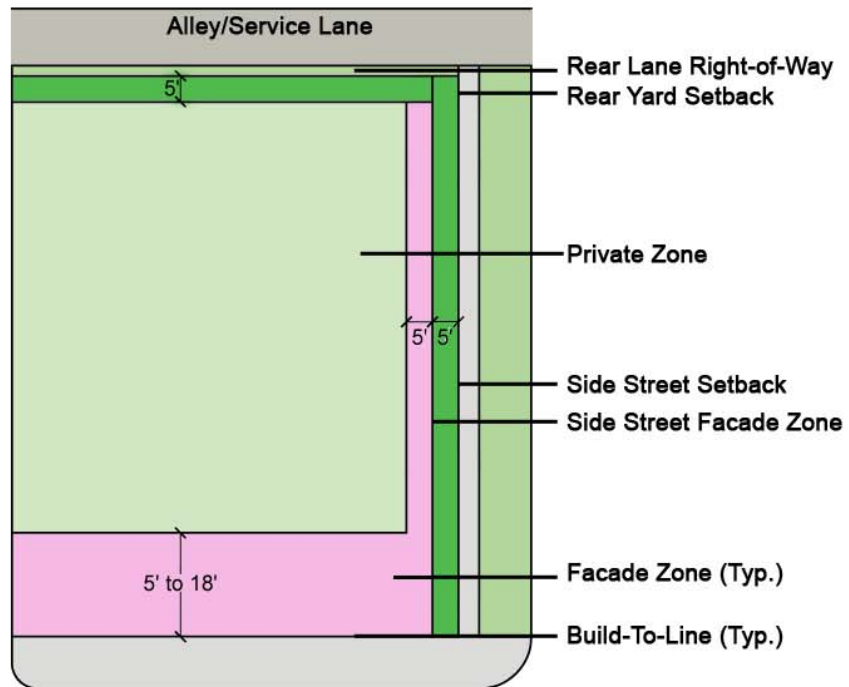


Live Work Units, Habersham - SC

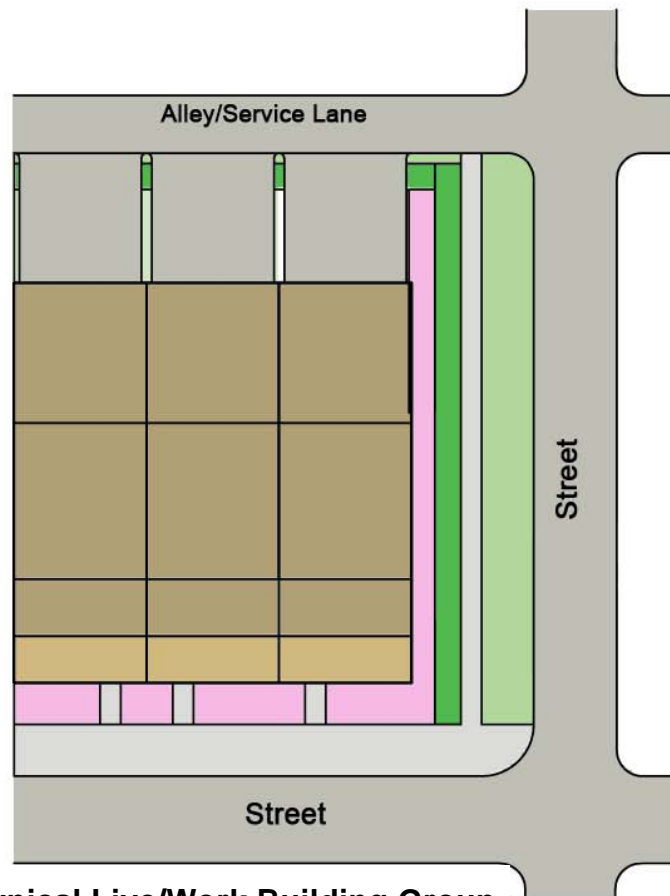


# Live-Work Units

Traditional Neighborhood Development (TND) Overlay Districts  
 Cranberry Township - Butler County, PA



**Typical Live/Work Lot**



**Typical Live/Work Building Group**

# Buildings: Architecture & Minimum Height

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Civic Plaza: South Side Works



Facade Articulation Provides Attractive Corner Store, Southern Village, Chapel Hill, NC

## Legislative Intent:

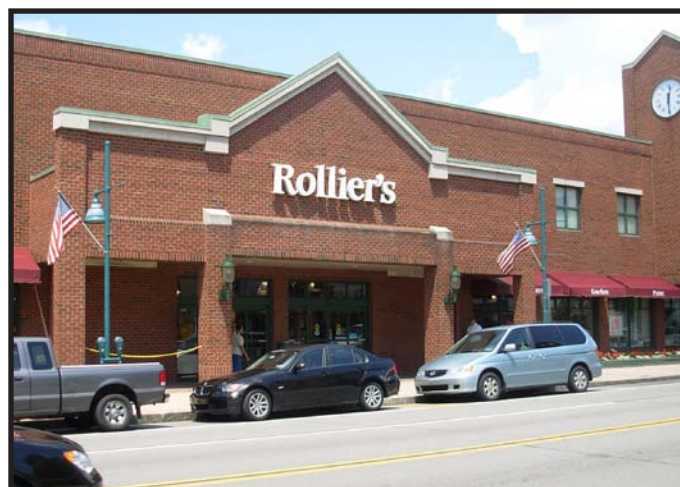
- 26.1 The articulation of roofs and facades is intended to promote an attractive neighborhood.
- 26.2 Minimum 2-story and/or 20 feet building height regulations are intended to promote less building coverage, and engenders a more village-type scale.

## Design Guidelines:

- 26.3 No building shall have a flat roof, unless a parapet wall is provided.
- 26.4 Principal buildings shall be a minimum of two (2) stories and/or 20 feet in height in the TND-1 and TND-2 Overlay Districts, and shall be a minimum of two (2) stories in the TND-3 Overlay Districts.
- 26.5 A vertical bay structure of a building shall be achieved through the use of pilasters, piers, columns, colonades, and the like.
- 26.6 Facade recesses and projections shall be in the range of one (1) to four (4) feet.



Two-Story Bank, Cranberry Township



Rollier's, Mt. Lebanon



# Commercial Building Architecture

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Commercial Buildings Detailed with Vertical Bays, Main Street at Exton, Exton, PA



Commercial Streetscape, Main Street at Exton, Exton, PA

## Legislative Intent:

- 27.1 A vertical expression to commercial building design is intended to de-emphasize the horizontality of buildings.
- 27.2 A series of shopfronts or storefronts is intended to promote a Main Street type of environment.

## Design Guidelines:

- 27.3 A vertical proportion to buildings shall be achieved through the use of crenelation, recesses, and projections in the form of windows, doors, pilasters, piers, columns, arches, porches, porticos, stoops, balconies, colonades, arcades, and the like.
- 27.4 Recesses or projections to buildings shall be provided with pilasters, piers, columns, or other like-type treatments whenever a building exceeds 20 feet in width.
- 27.5 The pilaster material shall be extended to the sidewalk as a full vertical unit, while maintaining the minimum required sidewalk width.



Filene's Basement, Waterfront



Commercial Liner Shops, Bicenennial Garage, West Chester, PA



# Neighborhood Center Retail (Smaller scale buildings)

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Two-story Building, Sewickley, PA



Trader Joe's and Second Floor Offices, Crocker Park, OH

## Legislative Intent:

- 28.1 Neighborhood Center Retail is intended to provide close-to-home opportunities to dine, shop and gather to meet friends and neighbors.
- 28.2 The neighborhood center is intended to be accommodating for special events, and celebrations.

## Design Guidelines:

- 28.3 A neighborhood center shall be provided in each TND with retail and/or civic uses.
- 28.4 Opportunities for outdoor seating and dining shall be created.
- 28.5 Neighborhood centers shall be positioned within a 10-minute walk from homes within the TND Overlay Districts.



Cafe, Haile Village, Gainesville, FL



Willowdale Town Center, Unionville, PA



# Neighborhood Retail Center (Medium to Larger scale buildings)

Traditional Neighborhood Development (TND) Overlay Districts

Cranberry Township - Butler County, PA



Boulevard Entrance and Ground-Floor Retail, Crocker Park, OH



Mixed Use Building, South Side Works

## Legislative Intent:

29.1 Medium to larger scale retail stores are intended to be sized and positioned to create attractive and desirable Neighborhood Centers.

## Design Guidelines:

- 29.2 Buildings shall be located along sidewalks to frame the Streetscape.
- 29.3 Medium to larger scale retail shall add value to a neighborhood and respect local character by making them proportional to traditional buildings through the use of narrower bays of twenty (20) to thirty-two (32) feet in width.
- 29.4 Medium to larger scale retail building types shall be edged with Liner Shops.



First Floor Shops and Condos Above Commercial, Crocker Park, OH



Neighborhood Center Retail, Crocker Park, OH

# Neighborhood Retail Center (Medium to Larger scale buildings)

Traditional Neighborhood Development (TND) Overlay Districts

Cranberry Township - Butler County, PA



Mashpee Commons - Smaller Footprint Buildings forming a New "Main Street" Environment in a Retrofit Shopping Center



Mashpee Commons - Streetscape "Bookend Buildings" along Street, forms "Outdoor Room"

## Legislative Intent:

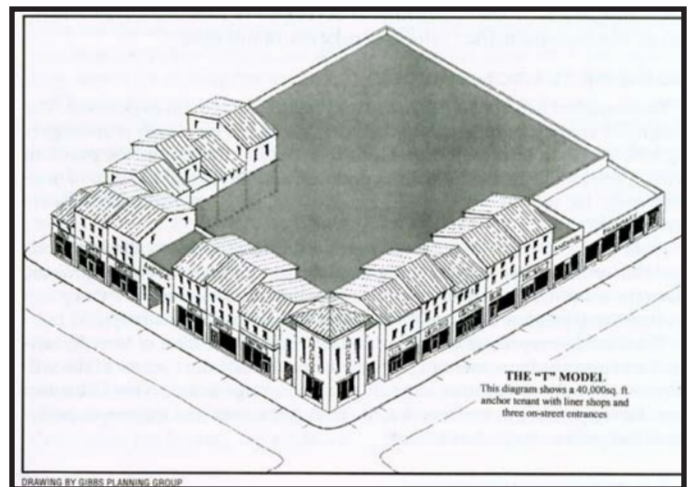
- 29.5 Medium to larger scale retail stores, are intended to be sized and positioned to create attractive and desirable "Main Street Environments."
- 29.6 "Main Street Environments" are intended to be formed by the placement of Street Walls on both sides of a street, approximately 60 to 85 feet apart.
- 29.7 Architectural variety, and a well designed streetscape are features that are intended for a neighborhood retail center.

## Design Guidelines:

- 29.8 Medium to larger scale retail shall be positioned to form a streetscape character.
- 29.9 Medium to large scale retail building types should be edged with Liner Shops.
- 29.10 A variety and diversity of land uses, pedestrian amenities, and gathering places shall be provided.
- 29.11 The facades of buildings shall be articulated to provide diversity and visual interest.



Lodging as Terminated Vista, EastonTown Center, OH



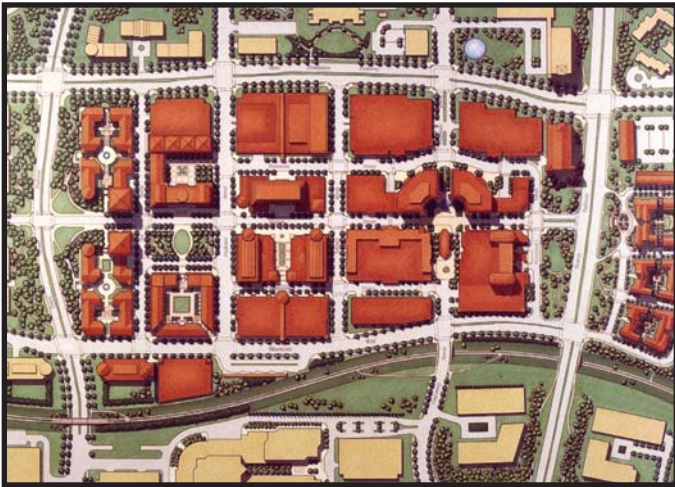
Big Box Commercial Buildings as a Possible Infill Opportunity, if "Edged" by Liner Shops



# Neighborhood Retail Center (Medium to Larger scale buildings)

Traditional Neighborhood Development (TND) Overlay Districts

Cranberry Township - Butler County, PA



Illustrative Site Plan Showing Interconnected Streets and Service Lanes



Urban Core Perspective

## Legislative Intent:

29.12 Reston Town Center is intended as a good example of a "Main Street" environment with mixed commercial, office and residential uses.

## Design Guidelines:

- 29.13 A main street environment in the TND-3 Overlay District shall be provided.
- 29.14 A variety of streetscape amenities within the neighborhood retail center shall be provided.
- 29.15 Public plazas and squares shall be provided in the neighborhood retail center.



Dining Beneath the Plaza Trees, Reston Town Center, VA



Streetscape, Reston Town Center, VA



# Neighborhood Retail Center (Medium to Larger scale buildings)

Traditional Neighborhood Development (TND) Overlay Districts

Cranberry Township - Butler County, PA



Home Depot: Building Materials Pick-up Area, Concordville Town Center, PA



Target & Home Depot Stores, Concordville Town Center, PA

## Legislative Intent:

29.16 These larger footprint buildings displayed in the photos on this page are intended to serve as good examples of larger scale buildings that are more effectively designed with sloped roofs, projected roofs and porticos.

29.17 In contrast with a conventional "big-box" store that typically projects a stark appearance, the careful design and articulation of a larger footprint building, the front yard, the parking lot, and the overall landscape, is intended to result in a more attractive and user-friendly environment.

## Design Guidelines:

29.18 A distinctive neighborhood and streetscape character, not typically found at big-box store locations, shall be provided with:

- a. varied building materials;
- b. roof projections,
- c. porticos,
- d. varied colors,
- e. generous landscaping,
- f. pedestrian amenities.



Walmart with Roof Projection & Portico, Hilton Head, SC



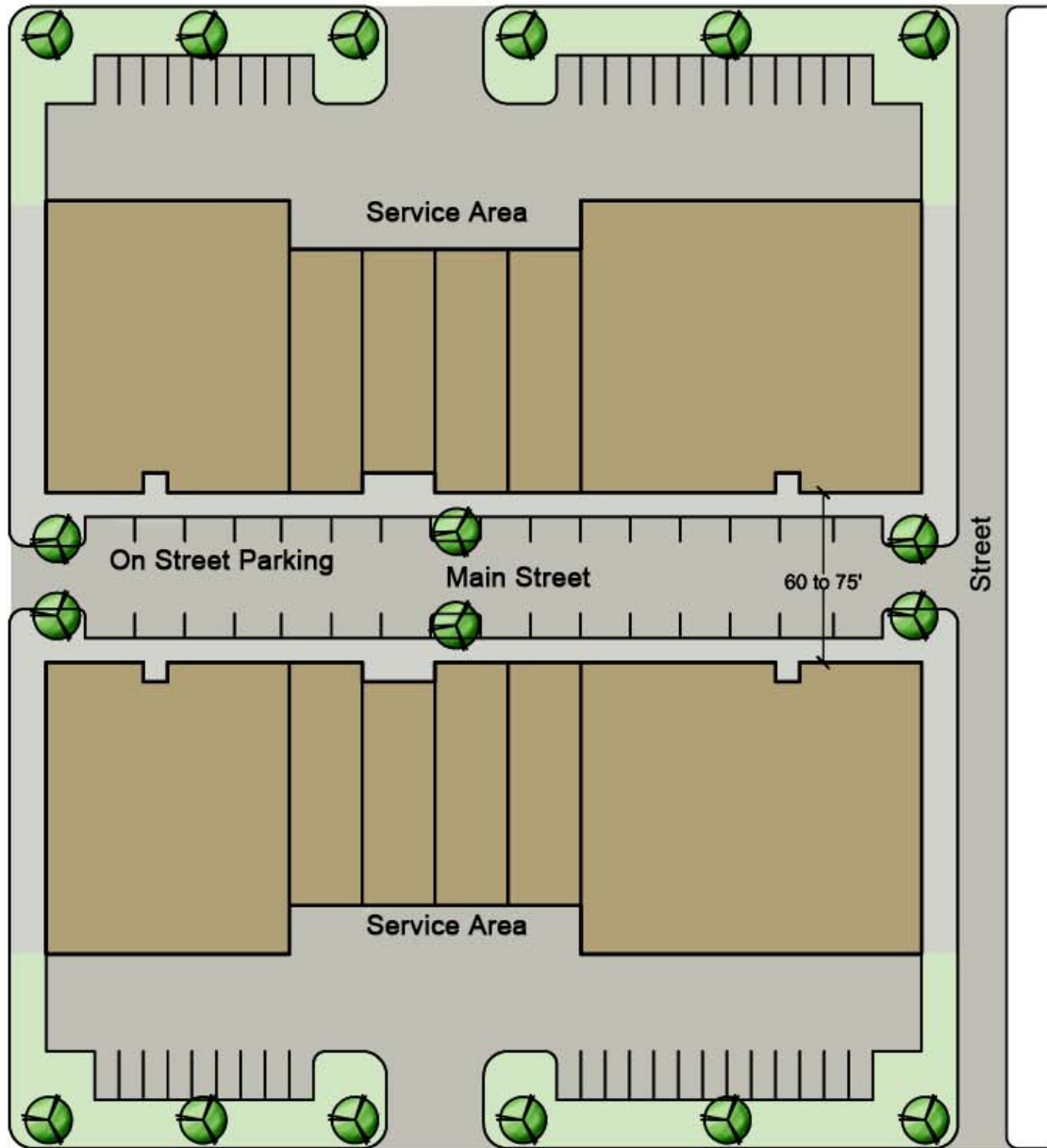
Walmart, Front Yard Landscape with Bicycle Rack, Hilton Head, SC



# Neighborhood Retail Center (Medium to Larger scale buildings)

Traditional Neighborhood Development (TND) Overlay Districts

Cranberry Township - Butler County, PA



Typical "Main Street" Environment

# Office and/or Residential Use Over First Floor Retail

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Offices Over First Floor Retail, Celebration, FL



First Floor Retail and Second Floor Offices: Columbus, OH

## Legislative Intent:

- 30.1 Offices over First Floor Retail are intended to provide a viable mixed-use opportunity
- 30.2 Offices and First Floor Retail are intended to complement the overall character of a Traditional Neighborhood Development.
- 30.3 Offices over first floor retail are intended to enhance building usefulness to both tenants.

## Design Guidelines:

- 30.4 Office over First Floor Retail shall be provided to expand the use of an otherwise single-use building.
- 30.5 Amixed use building with a unified architectural character shall be provided.
- 30.6 Parking areas shall be designed using shared parking calculations and considerations.
- 30.7 Pedestrian sidewalks and plazas shall be provided to link and integrate site features and amenities.



Office Over Retail, Easton Town Center, Easton, OH



Ground Floor Restaurant and Second Floor Offices & Retail: Egelview Town Center, PA



# Other Building Types

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Drive-thru Restaurant or Bank on a Corner  
(Building “Anchors” Corner)

# Other Building Types

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA

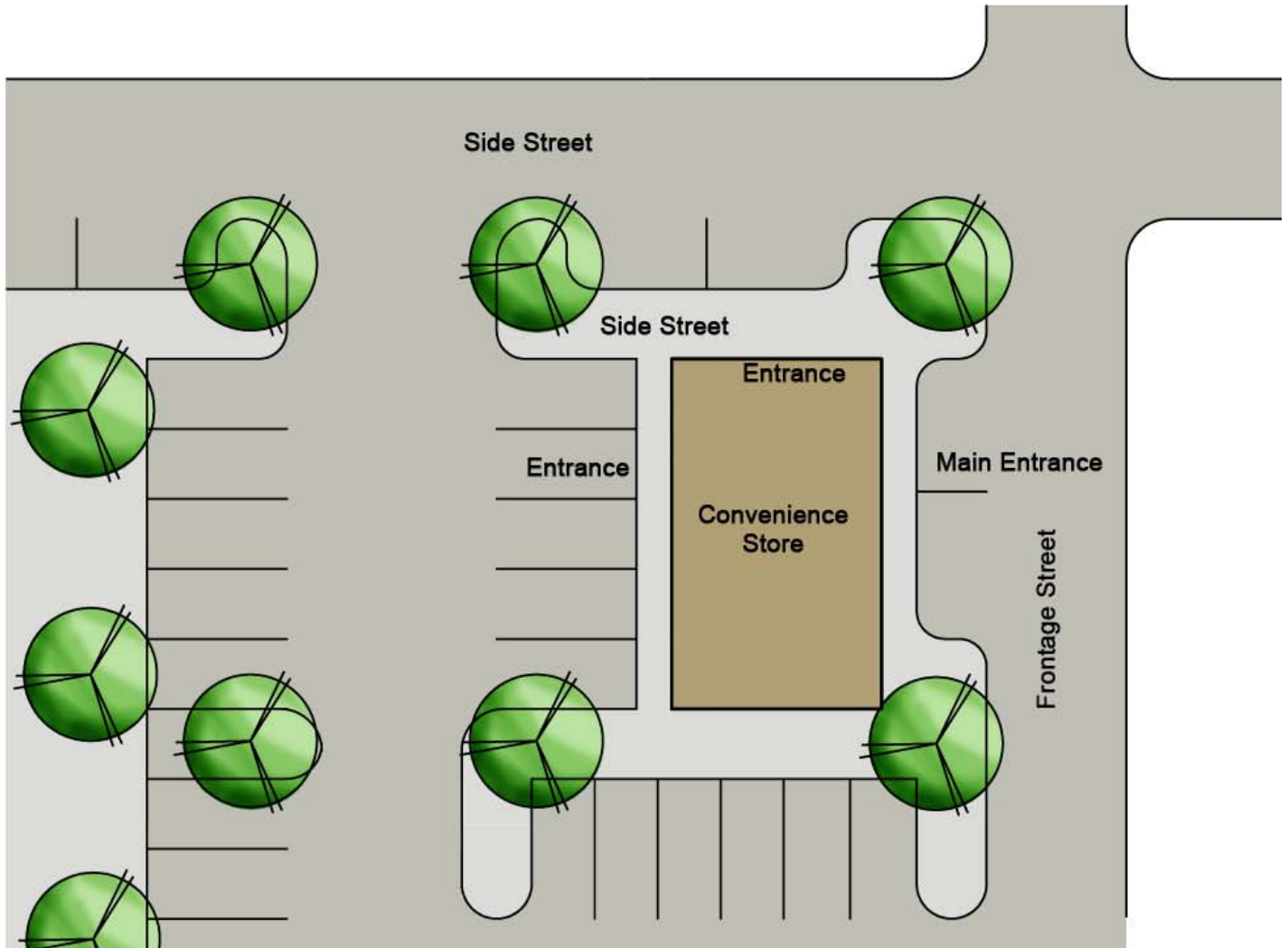


Gas Station on a Corner  
(Building “Anchors” Corner)



# Other Building Types

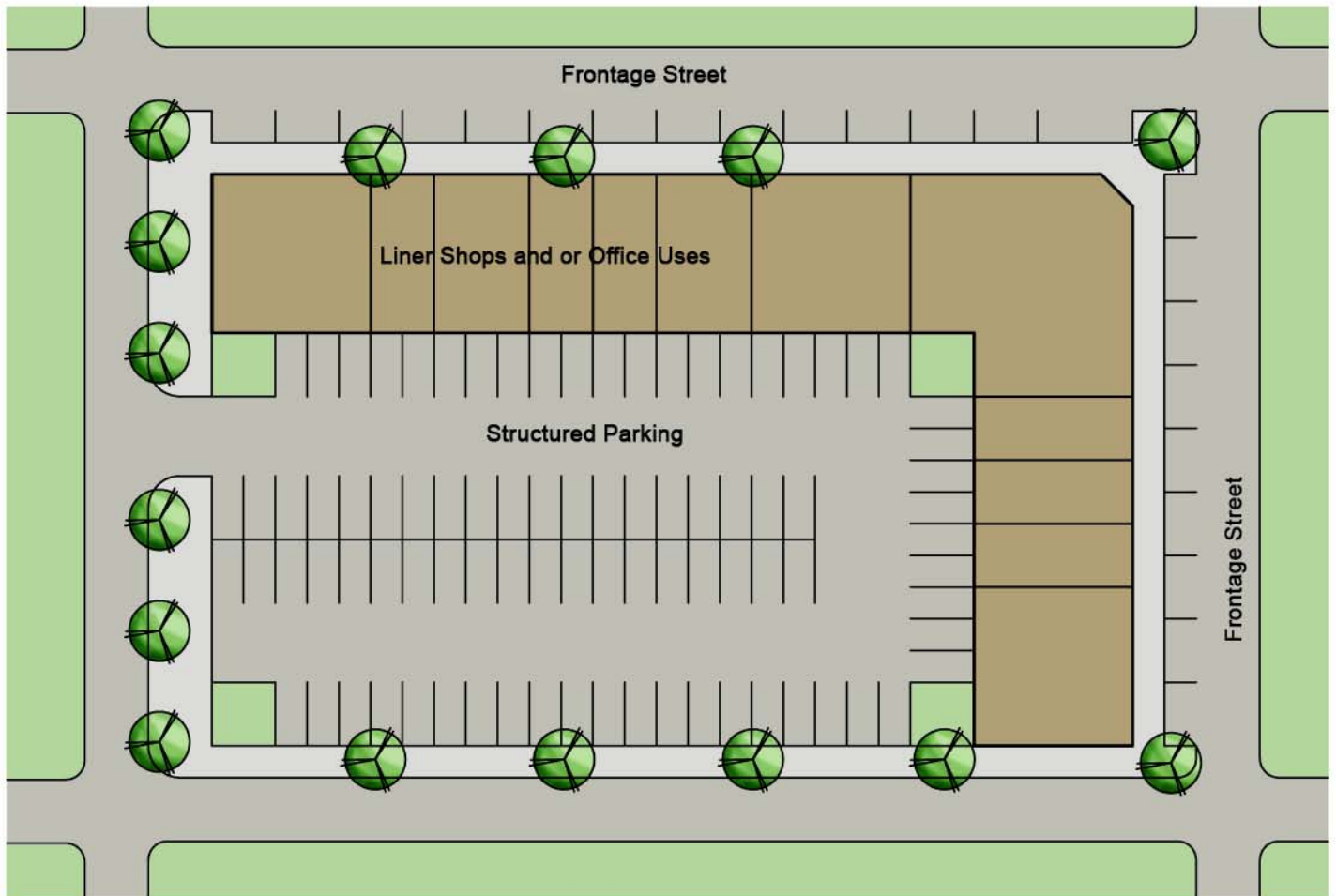
Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Convenience Store on a Corner  
(Building "Anchors" Corner)

# Other Building Types

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Parking Structure, Wrapped With Liner Retail Shops and/or Office Uses Along Street



# Other Building Types

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Anchor/Department Store  
Larger Than 20,000 Square Feet

# Other Building Types

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Cinema, Wrapped With Liner Retail  
or Office Uses Facing Street



# Building Wall Lights

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Wall Pack Lights that illuminate sidewalk and prevent upward glare

## Legislative Intent:

32.1 Attractive, shielded, wall packs and sconces are intended to provide building accents and needed light for pedestrian safety on sidewalks below.



Attractive lighting schemes along sidewalk from soffit

## Design Guidelines:

- 32.2 Building wall lights, equipped with shields to prevent glare shall be installed and maintained.
- 32.3 Building wall lights to illuminate sidewalks below shall be installed and maintained.
- 32.4 Regular spacing of lights shall be designed to compliment architectural features.



Marque lighting accentuates Architectural Details, West Chester, PA



Lighting Packs with Glare Shields

# Building Design & Materials

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Two-story Building with Vertical Bays, Waterfront



Articulated Facade with Vertical Bays, Articulated Roof, and Entry Porticos, United Savings Bank, Media, PA

## Legislative Intent:

- 33.1 Use of traditional materials, such as brick, stone, stucco over stone, and wood siding, is intended to provide a historic reference to the TND's.
- 33.2 Enhanced Vinyl Siding intended to provide a more weather resistant alternative.
- 33.3 Facade articulation, variation in roof lines, and vertical expression of buildings, is intended to promote consistency with the scale and proportion of traditional streetscapes and neighborhoods.

## Design Guidelines:

- 33.4 Brick, stone, stucco over stone, or wood siding shall be utilized to the maximum extent possible. Enhanced vinyl siding may be used as an alternative.
- 33.5 A primarily vertical expression to buildings shall be created through the use of crenelation in the form of windows, doors, pilasters, piers, columns, porches, porticos, stoops, colonnades, and the like.
- 33.6 Recesses or projections to buildings, from one to four feet, shall be provided whenever the building exceeds 20 feet in width.

continued on page 33.1



Two-story Building with Vertical Bays, Walgreens, Homestead



Articulated Facade with Awnings, Rolliers, Mount Lebanon



# Building Design & Materials

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Commercial Buildings Detailed with Vertical Bays, South Side Works



Commercial Streetscape, South Side Works

## Design Guidelines:

- 33.7 Pilasters shall be extended to the sidewalk as a full vertical unit.
- 33.8 Roof lines of buildings shall be varied through the use of dormers, gables, and the like, to the maximum extent possible.
- 33.9 Facade wall heights of flat-roofed buildings shall be staggered to create visual interest. Such heights shall vary by at least 42 inches through the use of parapet walls.
- 33.10 The maximum glass area of a building wall shall be 60% in TND-2 and TND-3, and 40% in TND-1.

- 33.11 Facades, roof lines, and building heights shall be provided and articulated along the primary facade of a building. On corner lots, all buildings shall have two primary facades, one for each street frontage.
- 33.12 Building design and materials shall emulate the character of buildings shown in the photographs of pages 33 and 33.1
- 33.13 Architectural Plans and Building Elevations shall be submitted with all submissions for Conditional Use and land development. Such plans and elevations shall be dimensioned, and shall indicate proposed finishes.



New infill development with effective Vertical Piers.



New Commerce Bank with Portico, Media, PA



# Street Furniture

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Bench in Plaza, Cambridge, MA



Bench at Waterfront

## Legislative Intent:

- 34.1 Benches are intended to provide a needed street furnishing for rest and relaxation, and can help to create a more pedestrian friendly streetscape.
- 34.2 Bicycle Racks are intended to send a message: "Bikes are Welcome Here".
- 34.3 Waste Receptacles are intended to provide needed repositories for trash, and can be attractive street furnishings.

## Design Guidelines:

- 34.4 One (1) bench shall be installed and maintained along the sidewalk for every 600 feet of road frontage, and every 250 feet of storefront in the TND-3 Overlay District.
- 34.5 Bicycle racks painted black to match other street furniture shall be utilized.
- 34.6 Bicycle racks shall be installed and maintained in a concrete footing.
- 34.7 Victor Stanley, Model S-42, Ironsites Series Litter Receptacle in black, or approved equivalent, shall be installed and maintained.



Iconic Bicycle Rack



Kiosk and Street Furniture: State College, PA

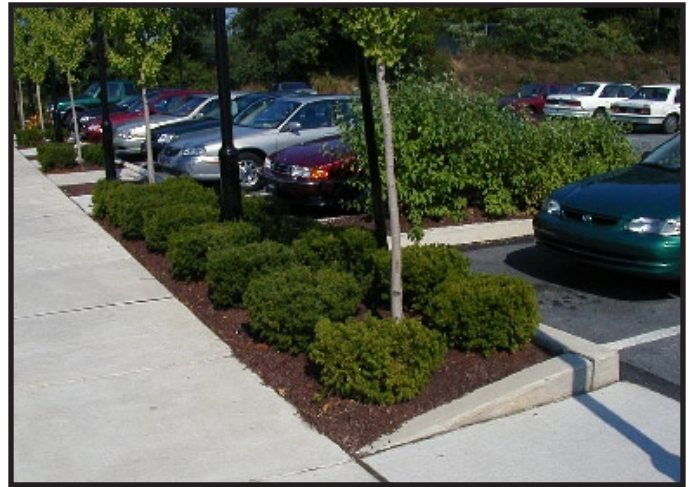


# Off-Street Parking Lots

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Off-Street Parking Screened with Landscaping in Centreville, DE



Parking Lot with Generous Landscaping, Exton, PA

## Legislative Intent:

- 35.1 Off-street parking lots are intended to be located to the rear of buildings.
- 35.2 Off-street parking lots are intended to be generously landscaped.

## Design Guidelines:

- 35.3 Off-street parking lots shall be located to the rear of buildings or in parking courts.
- 35.4 Off-street parking visible from a street shall be screened with walls, fences, hedges and other landscaping at 30 inches in height.
- 35.5 Parking lot islands and peninsulas shall be located and landscaped to “break-up” expanses of asphalt, whereby no more than ten (10) parking spaces shall be in a row without being interrupted by a landscaped island.

Continued on page 35.1



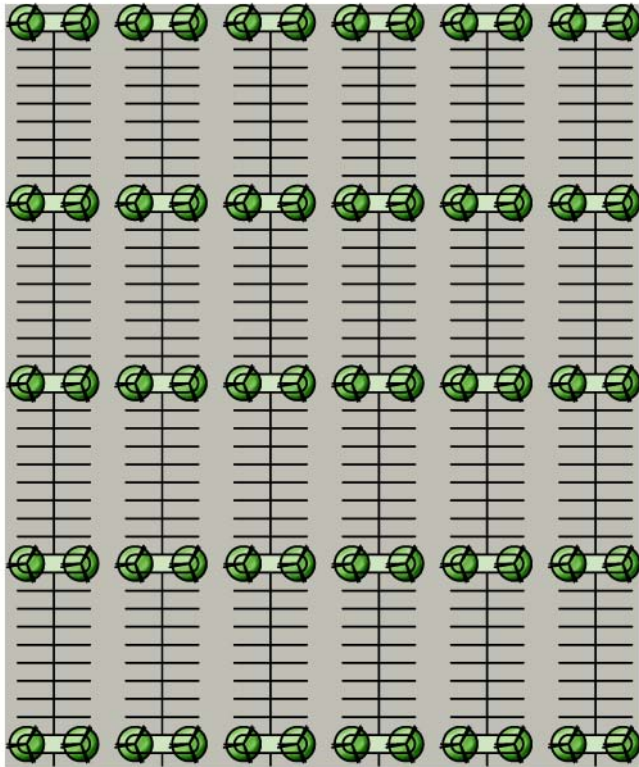
Passageway to Parking Celebration, FL



Off-Street Parking Screened by Brick Wall, West Chester, PA

# Off-Street Parking Lots

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



**Example of Elongated Parking Lot Islands With Two Trees in Each Island**



**Example of Alternating Parking Lot Islands Providing More Uniform Shade Tree Coverage**



# Structured Parking

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



West Chester deck parking structure with an architectural character consistent with nearby buildings.



Liner shops of the West Chester deck parking structure.

## Legislative Intent:

36.1 Deck parking structures are intended to accommodate the parking demand created by retail businesses, multi-family dwellings, and other high intensity uses.

## Design Guidelines:

- 36.2 Deck parking shall have first floor retail stores as liner shops.
- 36.3 Deck parking shall be architecturally consistent to emulate the character of the neighborhood retail center environment.
- 36.4 The primary entrance to the deck parking structure shall be from a side street to the maximum extent possible.
- 36.5 Masonry walls shall be provided to buffer the a deck parking structure if it cannot be located at the Build-To line to create the Street Wall.



Deck Parking Structure, Staunton, VA



Deck Parking & Grocery Store, Philadelphia, PA

# On-Street Parking

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



On-Street Parking Sewickley, PA



On-Street Parking, Summerset at Frick Park

## Legislative Intent:

- 37.1 On-Street parking is intended to provide vital guest and overflow parking for guests and patrons.
- 37.2 On-Street parking is intended to provide a useful form of traffic calming.
- 37.3 On-Street parking is intended to provide ease of access to uses.
- 37.4 On-Street parking is intended to promote the small town character of a TND.

## Design Guidelines:

- 37.5 On-street parking shall be provided along new streets.
- 37.6 On-street parking bays shall be 7 feet wide by 22 feet long.
- 37.7 On-street parking shall be utilized as overflow parking for guests and patrons.



On-Street Parking in Village Core at Mashpee Commons, MA



On-Street Parking, South Side Works



# Accessory Structures

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Gazebo in Center of Cul-de-sac, Seaside, FL



Kiosk, State College, PA

## Legislative Intent:

- 38.1 Dumpster enclosures and enclosures for HVAC Units, Utility Boxes, and the like, are intended to become architecturally compatible with the buildings on a site.
- 38.2 Kiosks are intended to provide opportunities to “advertise” civic events.
- 38.3 Accessory structures are intended to be built and maintained to be architecturally compatible with the neighborhood.

## Design Guidelines:

- 38.4 Enclosed dumpster areas shall be provided with convenient vehicular and pedestrian accessibility.
- 38.5 Decorative wall and fence enclosed dumpster areas, and enclosures for other utilities, shall be installed and maintained.
- 38.6 Kiosks shall be provided in retail areas in the TND-3 Overlay District.
- 38.7 Common mail areas shall be enclosed.
- 38.8 Accessory structures with architectural features similar to the overall neighborhood character shall be built and maintained.



Attractively Enclosed Dumpster Area, Easton Town Center, OH



Commons Mail Area, Evans Court, West Chester, PA

# Signage

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Three Little Pig's, Blade Sign, West Chester, PA



The Third Place Restaurant, Blade Sign, Haile Village TND, Gainesville, FL

## Legislative Intent:

- 39.1 Smaller "blade signs" are intended for shops and stores.
- 39.2 Smaller signs are intended for directional orientation.
- 39.3 Wayfinding signage is intended to provide orientation and a sense of place.

## Design Guidelines:

- 39.4 Smaller blade signs as projection signs shall be installed and maintained as projecting signs for shops and stores.
- 39.5 Vertical pole mounted banners shall be installed and maintained in TND-2 and TND-3 Districts.
- 39.6 Well-designed wall signs in scale with the building facade shall be provided.
- 39.7 Signage shall comply with TND Sign Regulations in Section 27 - 505.6.G.



Wall Sign, The Streets at Cranberry



Wall Sign, Beaver, PA



# Signage

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Awning Sign, Sewickley



Ground Sign, Cranberry Township

## Legislative Intent:

- 39.8 Awning Signs are intended to provide a functional and attractive solution to signage along a main street.
- 39.9 Ground signs are intended to promote more of a village character.

## Design Guidelines:

- 39.10 Ground signs, versus free-standing pylon signs, shall be installed and maintained.
- 39.11 Ground Signs shall not extend higher than six (6) feet, or wider than eight (8) feet.
- 39.12 The ground area at the base of all ground signs shall be landscaped and maintained to provide for year-round effectiveness.
- 39.13 Awning signs shall be provided on selected buildings in the TND-3 Overlay District.



Ground Sign, Trader Joe's, Media, PA



Ground Sign, Georgetown Square, Cranberry Township

# Wayfinding Signage

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Directional Sign



Pole-Mounted Vertical Wayfinding Banner

## Legislative Intent:

40.1 Wayfinding signage is intended to aid in navigation for motorists and pedestrians.

## Design Guidelines:

40.2 Wayfinding Signage shall be installed and maintained in the TND-2 and TND-3 Overlay Districts, similar to the examples shown on this page.

40.3 Pole-mounted vertical banners shall be installed and maintained at an average interval of 90 feet.



Parking Sign



Library Sign



# Traffic Signals and Signs

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Traffic Signal and Sign, Main Street at Exton, Exton, PA



Traffic Signal and Poles at Main Entrance, Main Street at Exton, Exton, PA

## Legislative Intent:

- 41.1 Traffic signs, poles and signals are intended to enhance the streetscape appearance when they are uniform in design.
- 41.2 Traffic Signs are intended to promote effective wayfinding.

## Design Guidelines:

- 41.3 Traffic Signals and Signs similar to those shown in these illustrations shall be provided in the TND-3 District.
- 41.4 Traffic signs, poles and signals shall be the Nostalgia Series - Union Metal Corporation, or an approved equivalent.
- 41.5 All apparatus shall be powder coated black in color, or an approved equivalent.



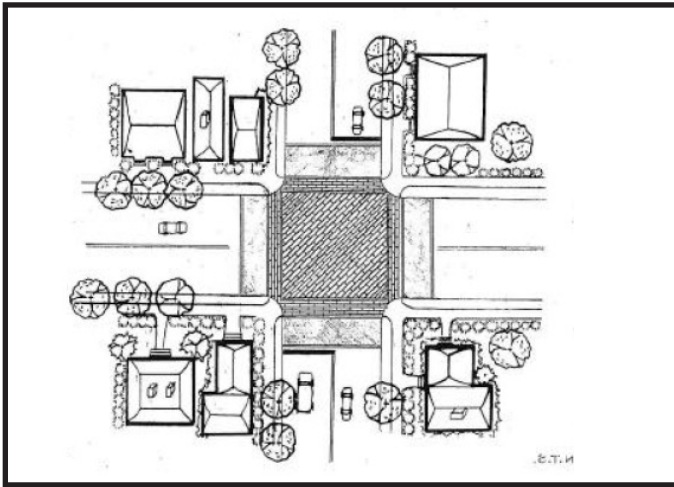
Traffic Signal and Sign, Complimentary to Street Furniture, Main Street at Exton, Exton, PA



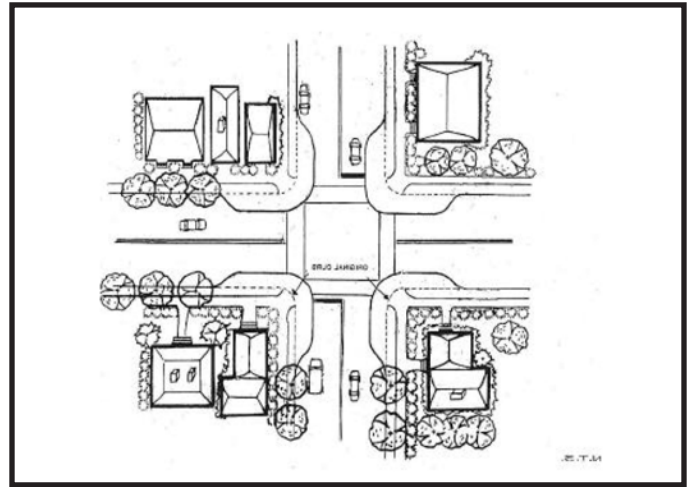
Traffic Directional Signs, Main Street at Exton, Exton, PA

# Traffic Calming

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Speed Table & Crosswalk at Street Intersection



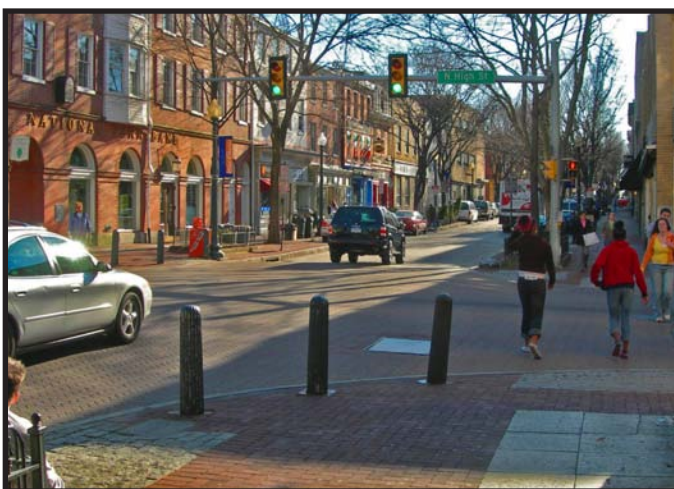
Curb Bulb-Outs

## Legislative Intent:

- 42.1 Traffic calming is an effective measure to help reduce speeding traffic.
- 42.2 Traffic calming makes a more pedestrian-friendly village setting.
- 42.3 Traffic calming enables pedestrian crosswalks across streets.
- 42.4 Raised pedestrian crosswalks at street intersections are intended to provide a useful traffic-calming feature.

## Design Guidelines:

- 42.5 Publication No. 383, January 2001, Pennsylvania's Traffic Calming Handbook (TCH) by PennDOT shall be utilized.
- 42.6 Various "Horizontal Deflection" and "Vertical Deflection" measures as per the PennDOT Traffic Calming Handbook shall be utilized.
- 42.7 Buildings, street trees, and landscaping close to the street shall be located to create more "friction" to help slow down the traffic.
- 42.8 Raised pedestrian crosswalks shall be provided to calm traffic in the TND-3 Overlay District.
- 42.9 Curb bulb-outs may be constructed to reduce the distance for pedestrians to cross the street, and to slow down the traffic.



Speed Table Crosswalk, West Chester, PA



Crosswalk at Grade, Media, PA

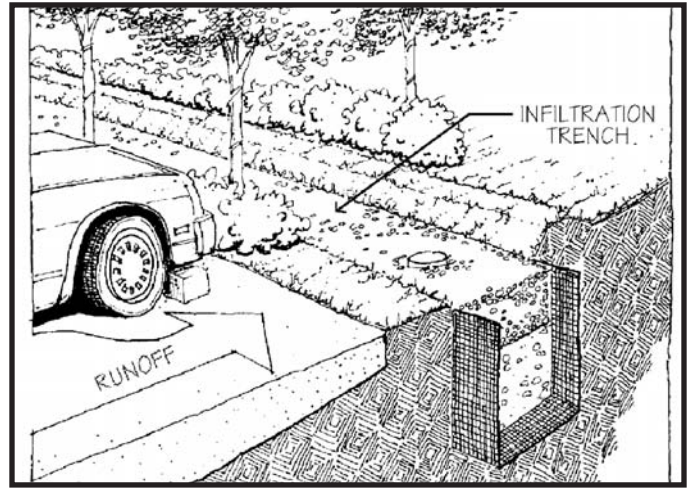


# Stormwater Management

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Unit Pavers as Porus Pavement



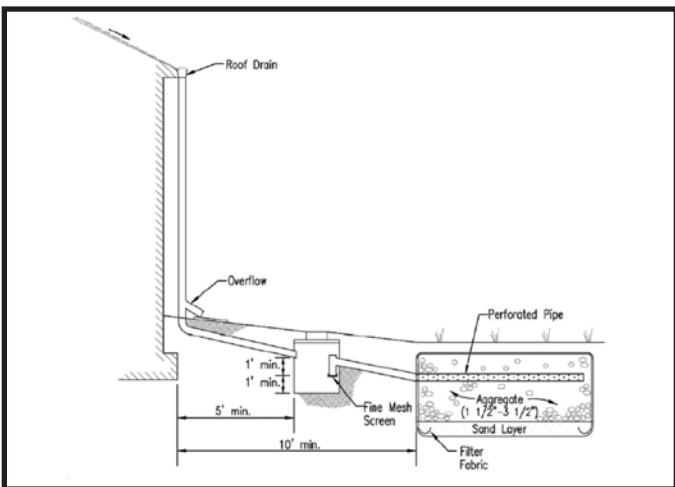
Infiltration Trench Detail

## Legislative Intent:

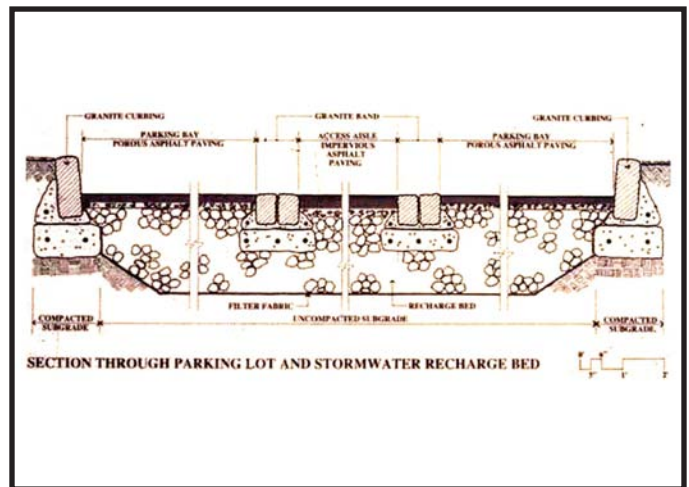
43.1 Stormwater Management is intended to be accommodated in context with the proposed environments of the TND-1, TND-2, and TND-3 Overlay District neighborhoods, and in accordance with the Stormwater Management Act.

## Design Guidelines:

- 43.2 "Light imprint" stormwater management solutions shall be constructed and maintained through the use of Infiltrators, Seepage Beds, Porous Asphalt Pavement and other innovative subsurface solutions.
- 43.3 A "storage, swale and filter" solution, versus the conventional "inlet, pipe, pit" solution with rain gardens, bio-retention swales, and the like, shall be utilized.
- 43.4 At least 80% of all stormwater detention shall be underground.



Roof Drain with Infiltration Trench



Stormwater Recharge Seepage Bed Section

# Maintenance of Improvements

Traditional Neighborhood Development (TND) Overlay Districts  
Cranberry Township - Butler County, PA



Well Maintained Civic Plaza, Waterfront, Homestead, PA



Well Maintained Hanging Baskets, Butler, PA

## Legislative Intent:

44.1 Perpetual maintenance of all improvements is intended to maintain quality control in all TNDs.

## Design Guidelines:

- 44.2 The Developer shall operate and maintain all improvements by inspecting, servicing and otherwise taking care of the same, putting and keeping same in working order, and performing any repairs, replacements and other work for such purposes.
- 44.3 Maintenance shall include keeping improvements well painted, clean, and clear of rubbish and debris.



Well Maintained Civic Plaza: South Side Works



Well Maintained Civic Plaza: Waterworks, Homestead, PA



**ORDINANCE NO. 2008-381**

TOWNSHIP OF CRANBERRY  
BUTLER COUNTY, PENNSYLVANIA

**AN ORDINANCE OF CRANBERRY TOWNSHIP, A SECOND CLASS TOWNSHIP OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, FOR THE PURPOSE OF AMENDING CHAPTER 27 (ZONING) OF THE TOWNSHIP CODE OF ORDINANCES.**

**WHEREAS**, the CRANBERRY TOWNSHIP PLANNING ADVISORY COMMISSION and BOARD OF SUPERVISORS have reviewed the proposed zoning amendment;

**WHEREAS**, the CRANBERRY TOWNSHIP PLANNING ADVISORY COMMISSION reviewed the Ordinance on July 30, 2007, August 29, 2007, December 28, 2007 and January 14, 2008 and made a recommendation to the BOARD OF SUPERVISORS on January 14, 2008;

**WHEREAS**, the BOARD OF SUPERVISORS held a public hearing on February 28, 2008 as provided by the Cranberry Township Code and the Pennsylvania Municipalities Planning Code at which time testimony was received concerning the amendment;

**WHEREAS**, the BOARD OF SUPERVISORS advertised the Public Hearing and the notice of intent to adopt the proposed amendment on February 4, 2008 and February 11, 2008 as provided by the Cranberry Township Code and the Pennsylvania 2<sup>nd</sup> Class Township Code; and

**WHEREAS**, the judgment of the BOARD OF SUPERVISORS, such an amendment to the Zoning Ordinance of the Township of Cranberry, Butler County, Pennsylvania is consistent with the overall Comprehensive Plan adopted by the Township.

**NOW, THEREFORE**, in consideration of the foregoing, it is hereby ordained and enacted by the authority of the Board of Supervisors of the TOWNSHIP:

**SECTION 1.** Article II, Section 27-202 "Definitions" is hereby amended by adding the following:

*Accessory Dwelling unit* – a dwelling unit that is either attached to the principal permitted building or to a permitted accessory building on a lot that serves as a mother-in-law type suite, or a granny-flat type suite.

*Allee* – an arrangement of street trees, whereby a canopy effect is created due to the regular and combined spacing of the trees.

*Build-to line* – the line which defines the placement of the building from the street on which the building fronts, measured from the street right-of-way. The build-to line of the building typically forms the street wall line as shown in Exhibit B to §27-506. On a corner lot, the build-to line is located on each side of a lot abutting a street.

*Civic art* – the vertical infrastructure of a Traditional Neighborhood Development (TND) Overlay District comprised of features such as pavilions, pergolas, benches, sculpture gardens, fountains, monuments, and the like.

*Civic use* – a public or private not for profit use such as a meeting hall, fire station, mail facility, post office, school, church, library, museum or other like type place that is a community facility located within a TND Overlay District.

*Commercial Use* – the use of a building or premises involving the sale of goods or services carried out for profit.

*Common TND open space* – a parcel or parcels of land or an area of water, or a combination of land and water within a TND Overlay District site and designed and intended for the use or enjoyment of residents of the TND Overlay District, not including streets, off-street parking lots, areas set aside for public facilities, and stormwater detention basins unless designed and constructed as a wet basin or a naturalized stormwater management basin as provided in the Township Public and Private Improvements Code. Common open space includes usable common open space and passive open space. The common TND Overlay District open space shall consist of active and passive open space and recreational areas, as well as areas for natural resource conservation, which may include greens, parks, squares, plazas, playgrounds, tot lots, playfields, and the like.

*Context sensitive infill development* – a development within a TND Overlay District on a property of less than forty (40) acres and adjacent to an existing TND or adjacent to a site with an approved TND plan, that is regulated in §27-506.10.

*Corner store* – a small commercial building that is less than 4,000 square feet in gross floor area, in which the sale of retail items including groceries is offered for the convenience of the neighborhood within a one-quarter (1/4) mile walk of most of the homes in a TND Overlay District.

*Enhanced vinyl siding* – Vinyl siding such as beaded siding, textured siding, german lapboard siding, and the like.

*Façade Zone* – the area within which the residential building shall be located, at the build-to line or within four (4) to six (6) feet of the build-to line, depending on which TND applies.

*Farmers/growers market* – a retail establishment at which fruits, vegetables, breads, eggs, milk, cheese, meat, flowers, and the like are sold by persons who typically grow, harvest, or process such items from their farm or agricultural operation.

*Granny Flat* – See Accessory Dwelling Unit.

*Green* – a plaza, square, courtyard, green court, pocket park, tot lot, playground, walkway, promenade, lawn area, or other type of Common TND Open Space in which



features such as pavers, benches, gazebos, pergolas, trellises, planters, plantings, lighting, sculpture, and the like, are installed and maintained, and in which public seating, outdoor dining, and the like, takes place.

*Green court* - A Common TND Open Space amenity that is internal to or along the edge of a block.

*Housing Types* – Any type of dwelling unit within a Traditional Neighborhood Development (TND).

*Live-Work unit* – a commercial use, such as a shop, studio, office, café, deli, personal service establishment, or other place of business in combination with a dwelling unit or units located above such place of business. A person or persons other than the proprietor of the business may occupy a Live-Work Unit. The dwelling should have the appearance of a Townhouse.

*Manual of Written and Graphic Design Guidelines* – a document that provides written and graphic design guidelines for the TND Overlay Districts in accordance with Part 5, §27-506, and Exhibits A and B. Exhibit B is a general Manual, that shall be accompanied by a specific Manual prepared by the Applicant and submitted with the Conditional Use application.

*Medium to large retail* – a building used by one (1) retail owner or tenant with more than 5,000 square feet on the ground floor.

*Naturalized stormwater management basin* – A facility for the temporary storage of stormwater runoff that is landscaped with grasses and native plants and is designed, constructed, and maintained in accordance with recognized Best Management Practice techniques as recommended by the Pennsylvania Department of Environmental Protection.

*Neighborhood center* – the area within a TND where commercial and civic uses are located.

*On-street parking* – parking that is adjoining the curb line of a street, and that is either parallel to or at an angle from the curb line.

*Parking Court* – a surface parking lot or a deck parking lot surrounded on all four (4) sides with buildings and accessed through a portal typically located in a mid-block location.

*Passive Open Space* – an area of land used for informal leisure time activities such as picnicking, nature study, bird watching, and nature photography.

*Porch* – an unenclosed extension of a building no smaller than five (5) feet deep by twelve (12) feet wide.

*Primary façade* – the façade of a building where the front entrance door is located. On a corner lot, there shall be two primary facades, one of which shall be designated with a front entrance door.

*Service lane* – a thoroughfare type, such as a common driveway or alley, which provides access to multi-family and/or non-residential development.

*Shared parking* – off-street parking that two (2) or more landowners or tenants share in accordance with the regulations of Part 5, §27-506, the standards for which are derived from the ULI – Urban Land Institute publication titled “Shared Parking Second Edition”, 2005.

*Smaller scale retail* – a building used by one (1) retail owner or tenant with 5,000 square feet or less on the ground floor.

*Street edge strip* – a tree lawn, or unit paver area, located between the sidewalk and the curb of a street in the TND Overlay Districts as set forth in Exhibit B.

*Street wall* – the wall of a building adjoining a sidewalk at the edge of the street right-of-way; or architectural elements such as walls, piers, pillars, colonnades, porches, and porticoes in lieu of a building wall when a building is set back from the street wall line.

*Streetscape* – the space formed by buildings located close to the street, which is embellished with sidewalks, street trees, street lights, curbs, on-street parking, and cartways. The streetscape is framed by buildings which create the “outdoor room” character of the TND Overlay Districts.

*TND Open Space* – see Common TND Open Space.

*Traditional Neighborhood Development (TND)* – A form of land development within a TND Overlay District in accordance with Part 5, §27-506, and consistent with TND as per Article VII-A of the Pennsylvania Municipalities Planning Code (MPC), wherein a TND is defined as follows: An area of land typically developed for a compatible mixture of residential units for various income levels and non residential commercial and workplace uses, including some structures that provide for a mix of uses within the same building. Residences, shops, offices, workplaces, public buildings and parks are interwoven within the neighborhood so that all are within relatively close proximity to each other. Traditional Neighborhood Development is relatively compact and oriented toward pedestrian activity. It has an identifiable center and discernible edge. The center of the neighborhood is in the form of a public park, commons, plaza, square or prominent intersection of two or more major streets. Generally, there is a hierarchy of streets laid out



with an interconnected network of streets and blocks that provides multiple routes from origins to destinations and is appropriately designed to serve the needs of pedestrians and vehicles equally.

**SECTION 2.** Article V, “Overlay Districts” is hereby amended by adding Section 27-506.

**§27-506. TND – Traditional Neighborhood Development (TND) Overlay Districts 1, 2, and 3.**

**Profile of TND Districts**

	<u>TND-1</u> Primarily Residential TND	<u>TND-2</u> Mixed-Use TND	<u>TND-3</u> Town Center TND
Dwelling Units Per Gross Acre	5.5	10 to 15 (A)	15 to 20 (A)
Min. and Max. Commercial Area	0 to 10% <sup>(B)</sup> maximum	5 to 50%	60 to 75%
Minimum TND Open Space	30%	15%	10%
Maximum Impervious Surface	70%	85%	90%
Max. Bldg. Ht. (Stories)	3	4 6 <sup>(C)</sup>	6
Max. Bldg. Ht. (Feet)	45	65 95 <sup>(D)</sup>	95
Min. Bldg. Ht. (Feet/Stories)	20’ or 2 stories	20’ or 2 stories	2 stories

Notes:

- (A) Higher Density Permitted Under Bonus Provisions
- (B) The percentage of tract area shall include the acreage for buildings, off-street parking areas, and stormwater management areas, after subtracting the minimum required Common TND Open Space.

- (C) Hotels may be permitted up to six (6) stories.
- (D) See Section 27-506. for complete details.

1. *Intent.* Provisions for the TND Overlay Districts are intended to:

A. Comply with Article VII-A, Traditional Neighborhood Development, of the Pennsylvania Municipalities Planning Code (MPC), Act 247, as amended, in particular, those purposes and objectives listed in Section 701-A of Article VII-A such as: encouraging innovation for mixed-use pedestrian-oriented development; extending opportunities for housing; encouraging a more efficient use of land; allowing for integrated, mixed-use, pedestrian-oriented neighborhoods; establishing public space; minimizing traffic congestion; and fostering a sense of place and community.

B. Comply with Exhibit A, Guiding Principles, and Exhibit B, the General Manual of Design Guidelines.

C. Implement the Comprehensive Plan for Cranberry Township.

D. Emulate other successful neighborhoods that have features such as mixed housing types, mixed uses (residential and non-residential), attractive streetscapes, parks, centrally located public squares, plazas, civic and public buildings, civic art, recreational facilities, and other features as described and illustrated in Exhibits A and B.

E. Create opportunities for three (3) distinct TND Overlay Districts including TND-1, TND-2, and TND-3.

2. *Eligibility.*

A. TNDs shall be Conditional Uses. Any tract to be developed as a TND shall be governed by the Conditional Use review process, including the submission of a Preliminary Land Development Plan concurrent with the Conditional Use application.

B. Uses within a TND may also be subject to Part 7 Conditional Use, Procedure and Specific Standards. If a Conditional Use is proposed within the TND Conditional Use process, the Applicant may concurrently apply for all Conditional Use approvals.



C. The TND Overlay Districts will be shown on the Cranberry Township Zoning Map, as may be amended from time to time.

D. TND shall comply with Article VII-A of the Pennsylvania Municipalities Planning Code.

E. TND shall comply with this Part 5, §27-506.

F. The minimum tract size shall be forty (40) acres. However, for tracts less than forty (40) acres, Context Sensitive Infill Development may be permitted if such development complies with Exhibits A and B and § 27-506.10.

G. If a tract is less than forty (40) acres, in an area shown on the Cranberry Township Zoning Map for the TND-1 Overlay District, such tract may be eligible for TND if:

- (1) A Concept Plan is submitted to propose TND for several smaller parcels that would cumulatively comprise forty (40) or more acres;
  - (2) The Concept Plan is submitted as a joint plan by the property owners;
  - (3) The properties are linked by an interconnected network of streets;
  - (4) The properties have a common stormwater management system;
- and
- (5) The Concept Plan otherwise complies with the requirements of §27-506 and Exhibits A and B.

H. All Applicants are encouraged to employ green building methods, materials, and technology in the design and construction of buildings and neighborhoods.

(1) Applicants are strongly encouraged to achieve the highest LEED's certification by the U.S. Green Building Council (USGBC) at or above the "Silver" level rating as defined by the Leadership in Energy and Environmental Design (LEED) Green Building Rating System for new construction, and improvements to existing buildings.

(2) Applicants are strongly encouraged to apply for Certification for green neighborhood design under the "LEED-ND: Leadership in Energy and Environmental Design for Neighborhood Development" program.

(3) All Applicants are strongly encouraged to be consistent with the applicable be “green” practices in the “Pennsylvania Standards for Residential Site Development”, April 2007, as may be amended from time to time.

3. *Compliance with Applicable Ordinances.*

A. All applicable provisions for Preliminary and Final Land Development Plans in the Cranberry Township Subdivision & Land Development Ordinance shall apply.

B. The Cranberry Township Public and Private Improvements Code (PPIC) shall apply.

C. At the time of application for Conditional Use approval, the Applicant shall submit a Master Plan which shall consist of all of the plans listed in this Section, including a the following plans: Building Plan; Street, Alley and Streetscape Plan; Pedestrian Access Plan; Open Space and Recreational Facilities Plan; Landscape Plan; Parking Plan; Utilities Plan; and Phasing Plan.

D. All Applicants may submit Sketch Plans for all TND Overlay District proposals. As per Section 707-A of the Pennsylvania Municipalities Planning Code, such plans may be informally reviewed as conceptual plans in order to provide an opportunity for the Township to make suggestions and recommendations on the design of the proposed development.

4. *Application Requirements.*

A. *Narrative Report Submission for Conditional Use Approval.*

(1) *Project Narrative.*

(a) A statement with graphics and exhibits indicating how the proposed Application promotes TND, integrates with the community, and meets the Design Guidelines.

(b) A description of the project including, but not limited to the name, location, acreage, development attributes/characteristics, uses, gross density, and Common TND Open Space.



B. *Master Plan Submission for Conditional Use and Preliminary Plan Review Process.*

- (1) *Manual of Written & Graphic Design Guidelines.* A specific and detailed Manual of Written and Graphic Design Guidelines as per Section 708-A of the Pennsylvania Municipalities Planning Code, shall be prepared and submitted by the Applicant pertaining to such specific proposed features as architecture, building materials, fencing, walls, landscaping, signs, streets, pedestrian circulation, parking, lighting and streetscape. Said Manual shall be consistent with the Design Principles for the TND Districts set forth in this Part and Exhibits A and B, and shall be submitted for review by the Planning Advisory Commission and approval by the Board of Supervisors.
- (2) *Site Plan.*
  - (a) A separate plan sheet shall be submitted to depict the overall layout of the TND, the proposed uses and parking, areas of Common TND Open Space, and areas reserved for stormwater management.
- (3) *Conceptual Building Plan.*
  - (a) A separate plan sheet shall be submitted to depict the proposed building program including:
    - (i) The proposed principal and accessory uses, the gross area of all uses, the building heights, the total lot area and lot coverage, existing and proposed.
    - (ii) Architectural elevations for all proposed building types.
    - (iii) Color sketches and renderings depicting the proposed architectural character and streetscape character of the TND.
    - (iv) Building elevations with labeling to indicate all proposed building materials, windows and doors, roofs, dormers, pilasters, piers, green building design, and the like, to the extent known at the time of Conditional Use application.
- (4) *Street, Alley, and Streetscape Plan.*

(a) A separate plan sheet shall be submitted to depict the proposed interconnected street and alley network. Such Plan shall indicate all street, rights-of-way, and alley widths.

(b) Such Plan shall indicate all materials, depths of pavement courses, and gradients.

(c) The Plan shall indicate the location of all proposed bike lanes and bike paths, if any.

(d) Such Plan shall also indicate the locations for all proposed street furniture, such as benches, planters, bicycle racks, and waste receptacles.

(e) Such Plan shall indicate street network connections to adjoining tracts.

(f) Such Plan shall indicate proposed traffic calming measures.

(5) *Pedestrian Orientation and Pedestrian Access Plan.*

(a) A separate plan sheet shall be submitted to depict the proposed interconnected network for pedestrian access including sidewalks, pathways, trails, crosswalks, and bike paths.

(b) Such Plan shall indicate all sidewalk, crosswalk, and path widths, materials and gradients.

(6) *Open Space and Recreational Facilities Plan.*

(a) A separate plan sheet shall depict all proposed Common TND Open Space, including recreational facilities, greens, plazas, squares, civic art, green court lots, natural areas, and the like.

(7) *Landscape Plan.*

(a) A separate plan sheet shall be submitted to depict all proposed landscape features.

(b) The Landscape Plan shall indicate all plant types, size and quantities as well as the types, sizes, and materials for all paving, walls, benches, and other structures.



(8) *Parking Plan.*

(a) A separate plan sheet shall be submitted to depict proposed location and materials for all parking. Such plan shall list the number of parking spaces proposed in relation to the proposed use(s) and shall indicate: the parking needs of all proposed uses; any shared parking; the times of maximum and minimum expected use; and the compatibility with adjoining uses to minimize conflicts.

(b) The Parking Plan shall illustrate a dispersal of parking areas to the maximum extent possible in order to minimize large expanses of parking lots.

(c) On-street parking spaces may be counted toward the overall parking requirement whenever such parking is located within 300 feet of the building being served by such parking.

(9) *Utilities Plan.*

(a) A separate plan sheet shall be submitted to depict all proposed utilities. Such plan shall indicate all proposed types, sizes, and materials of utilities that are proposed in accordance with the Cranberry Township Public or Private Improvements Code (PPIC).

(10) *Phasing Plan.*

(a) A separate plan sheet shall be submitted to depict proposed staging or phasing of the total land development and all of the uses and mixed-use proposed, if the development will be phased over a period greater than two (2) years.

(b) In the case of a development proposed to be developed over a period of greater than two (2) years, flexibility of housing density, design and type may be addressed and flexibility in uses and mixed-uses may be addressed to:

1) Permit a variation in each phase from the density, intensity of use, or mixed-use for the entire development.

2) Allow for a greater concentration of density, intensity of land use, or mixed-use within some phase of development.

3) Require that the approval of such greater concentration of density, intensity of land use, or mixed-use be offset by a smaller concentration in any completed prior phase or by reservation of common open space on the remaining land by a grant of easement or by covenant in favor of the Township; provided, however, the Developer shall establish and maintain a pro-rata share of the minimum required Common TND Open Space, and TND infrastructure (roads, streets, alleys, parking, stormwater, etc.), based on the acreage of each phase of development.

D. *Other Documentation for Final Plan Approval.*

(1) When an Application for Final Land Development Plan is submitted, all information listed under Section C. above shall be submitted in final form.

5. *General Design Standards.*

A. Design and development in the TND Overlay Districts shall comply with the following design standards:

(1) Refer to Exhibit 'A', "Guiding Principles – Traditional Neighborhood Development (TND) Overlay Districts", for overarching design principles.

(2) Refer to Exhibit 'B', a general Manual of Written and Graphic Design Guidelines for the TND Overlay Districts.

(3) The Applicant shall also prepare and submit a detailed and specific Manual of Written and Graphic Design Guidelines as per Section 708-A of the Pennsylvania Municipalities Planning Code, prepared by the Applicant pertaining to such specific proposed features as architecture, building materials, fencing, walls, landscaping, signs, streets, pedestrian circulation, parking, lighting and streetscape. Said Manual shall be consistent with the Design Principles for the TND Districts set forth in this Part and Exhibit 'A' and Exhibit 'B', and shall be submitted for review and recommendation by the Planning Advisory Commission and subsequently submitted to the Board of Supervisors for approval or denial.

(4) The Cranberry Township Public and Private Improvements Code shall apply.



B. *Street and Alley Network.* The success of the fabric of the TND Overlay Districts shall be based in part on an effective and continuous street and alley network, and interconnectedness within five (5) feet of adjacent parcels. Through streets are intended to enhance connections between neighborhoods. Alleys relieve the frontage street from certain service functions, preserve the streetscape without curb cuts, and allow buildings to be placed forward on the lot to provide greater curb appeal and pedestrian access.

(1) A network system of interconnected streets and alleys shall be created to effectively accommodate vehicular, pedestrian, and bicycle circulation.

(2) Cul-de-sac streets shall be prohibited.

(3) All streets, alleys, and streetscape elements shall be designed in accordance with Chapter 17 of the Cranberry Township Public and Private Improvements Code (PPIC).

(4) Street Design Standards shall be in accordance with Exhibit B, where there is a conflict with the PPIC, the stricter standard shall apply.

(5) Curb bulbouts shall be located at all street intersections, subject to the approval of PennDOT and the Township.

(6) Parking shall be accommodated on-street (parallel and angled) and off of alleys.

(7) Two-way alleys shall be a minimum of seventeen (17) feet in width to provide adequate lanes for two-way travel.

(8) Since alleys are a type of a street typically providing secondary vehicular access to the rear or side of the lot, garages shall be located on either side of the alley as follows:

(a) With an eight (8) foot deep driveway to allow for vehicles to park parallel to the seventeen (17) foot wide alley; or

(b) With an eighteen (18) foot deep driveway to allow for vehicles to park perpendicular to the seventeen (17) foot wide alley.

(9) One hundred percent (100%) of parking for attached and multi-family dwellings shall be accessed by alleys, side or rear service lanes, and

approved on-street parking, unless the Applicant can demonstrate that it is not feasible to physically locate an alley due to topographic or hydrologic conditions, in which case at least eighty percent (80%) of such parking shall be accessed by alleys, side or rear service lanes and/or on-street parking.

(10) At least eighty percent (80%) of the single-family detached dwelling lots shall be accessed by alleys, and any garage not accessed from an alley shall be setback at least twenty (20) feet from the front of the house or rotated so that the garage doors do not face any adjacent streets.

(11) Alleys are not required to have sidewalks.

(12) Easements shall be provided in alleys for access for mail delivery, trash pick-up, utilities and maintenance.

C. *Building Width/Proportion/Height.*

(1) No more than seven (7) attached dwellings or multi-family dwellings shall be built in a row, and such dwellings shall not exceed one hundred eighty-five (185) feet along the primary facades.

(2) *Staggered heights.* No more than two (2) adjoining non-residential buildings shall have the same building height so as to create visual interest. Building heights shall vary by at least two (2) feet for non-residential buildings. In addition, non-residential buildings and townhomes with flat roofs shall have a parapet wall of at least four (4) feet to provide visual interest.

(3) Individual non-residential buildings shall be no wider than forty-eight (48) feet, unless designed with primary facade offsets with one (1) to four (4) foot recess or projection at intervals of twenty to thirty-two (20 to 32) feet.

(4) No principal building shall exceed three (3) stories in height in the TND-1 Overlay District, four (4) stories in height in the TND-2 Overlay District (except for hotels which may be six (6) stories), and six (6) stories in height in the TND-3 Overlay Districts.

(5) Principal buildings shall be a minimum of two (2) stories and/or 20 feet in height in the TND-1 and TND-2 Districts, and shall be a minimum of two (2) stories in the TND-3 Overlay Districts.

D. *Building Location, Street Wall and Build-To Line.* The streetscape character of the TND is formed by buildings located close to the sidewalk (the street wall)

to promote a pedestrian friendly frontage. Other structures, such as a wall, could be placed at the Build-To Line to create the streetscape character.

(1) The Street Wall of any building shall be the same location as the adjoining buildings on the block within a TND, in order to promote a continuation of the streetscape character and space.

(2) Whenever a front porch, portico, or stoop is involved, it shall be placed on the Build-To Line, except as described below.

(3) The Build-To Line may vary in order to provide variety and diversity in building location relative to the street as follows:

(a) A recess or projection may be up to six (6) feet in the TND-1 Overlay District.

(b) A recess or projection may be up to five (5) feet in the TND-2 Overlay District.

(c) A recess or projection may be up to four (4) feet in the TND-3 Overlay District.

(4) On a corner lot, the Build-To Line shall be on both sides of the lot on which the building has street frontage.

(5) At least eighty percent (80%) of the total number of single-family detached and duplex dwelling shall have a porch along the primary facade. Unenclosed porches shall measure at least five (5) feet deep and twelve (12) feet wide.

(6) Attached dwellings shall have a portico that measures at least six (6) feet deep and six (6) feet wide.

(7) Buildings shall anchor corners where streets and/or alleys intersect unless a pedestrian-accessible Village Green, a Plaza, Square, Park, or Green Court Lot at street corners is proposed.

(8) Dwellings may have attached garages, side to side, in the rear yard accessed off an alley to allow for more useable rear yards, in the form of a zero lot line garage.

(9) To create diversity and interest, variations in lot widths of adjacent lots are encouraged.



(10) The first floor elevation of single-family detached and attached dwellings shall be at least 24 inches and no more than 42 inches above the sidewalk grade in order to promote privacy.

E. *Parking: Off-Street.* In addition to the provisions of §27-312, the following shall apply:

(1) Off-street parking spaces and off-street parking lots for residential development shall be located to the rear or side of buildings. Any off-street parking for non-residential development shall be screened as set forth below.

(2) Off-street parking lots shall never be located at a street corner, except for structured parking.

(3) Off-street parking areas that are visible from the street shall be screened as set forth herein. A low wall, fence and hedges shall be installed and permanently maintained at the street wall line to screen parking areas to help maintain streetscape character as shown in Exhibit B.

(4) Parking courts in accordance with Exhibit 'B' shall be provided for multi-family dwellings where feasible.

(5) Off-street parking shall comply with the requirements of §27-312.14, Off-Street Parking Requirements, except that Shared Parking may be provided at a blended rate of 3.9 parking spaces per 1,000 square feet of gross floor area for non-residential buildings, in accordance with the publication titled "Shared Parking Second Edition", 2005, by the Urban Land Institute (ULI).

F. *Parking: On-Street.* On-Street Parking is intended to insulate pedestrian traffic from vehicular traffic.

(1) On-Street Parking may be placed along curbs and streets to increase the availability of parking.

(2) On-street parking areas located within 300 feet of the use may count toward the required number of parking spaces, if the Applicant can demonstrate that such parking is actually available and has not been counted by a previous landowner or tenant.

(3) On-street parking shall be prohibited on the cartway of an alley or service drive.

G. *Sidewalks, Walkways, Trails, Crosswalks, and Other Pedestrian Linkages.* Sidewalks are intended to create a continuous pedestrian walkway network. Sidewalks provide a critical element of the streetscape and public realm of the TND Overlay District.

- (1) Sidewalks shall be placed on both sides of all streets to enhance pedestrian circulation. Sidewalks shall connect to adjoining properties.
- (2) Sidewalks shall have the following minimum widths:
  - (a) five (5) feet in residential areas;
  - (b) fifteen (15) feet in commercial areas in the TND-3 District;
  - (c) fifteen (15) feet in commercial areas with outdoor dining in the TND-1 and TND-2 Districts;
  - (d) six (6) feet in other non-residential areas.
- (3) Handicapped curb cut ramps for sidewalks shall be installed and maintained at all street intersections in accordance with ADA requirements.
- (4) Sidewalks shall be maintained and repaired, on an on-going basis by the lot owner, and/or adjoining lot owner, and/or Homeowners Association, and/or the Property Owners Association.
- (5) Crosswalks shall be at least five (5) feet in width or wider if the adjoining sidewalk is wider, physically and visually distinctive to facilitate pedestrian circulation at street corners, and constructed, of stamped concrete, masonry pavers, or approved equal, in accordance with the Public and Private Improvements Code.

H. *Street Lights.*

- (1) Street lights shall be required along all streets and shall be no higher than sixteen (16) feet, and shall be placed in an alternating or staggered arrangement at an average interval of seventy (70) to one hundred five (105) feet in a uniform pattern to provide safety and convenience.
- (2) Street light types, locations, and intensities shall be in character with the pedestrian-oriented TND streetscape, and shall be in accordance with existing lighting requirements, and shall be alternating with street tree locations.

I. *Street Trees and Other Landscaping.* Street Trees are intended to add charm, beauty and shade to streets. Street trees also provide a landscape architectural compliment to the architectural alignment of buildings.

(1) Street Trees shall be in accordance with the Cranberry Township Subdivision and Land Development Ordinance.

J. *Common TND Open Space.*

(1) Village Greens, Plazas, Square, and Parks shall be provided in TNDs in accordance with §27-506.6, .7 and .8, Exhibit 'B', and the following:

(a) The minimum percentages of Common TND Open Space shall be thirty percent (30%) in TND-1, fifteen percent (15%) in TND-2, and ten percent (10%) in TND-3.

(b) Plazas and Squares shall be in the range of 1,000 to 3,000 square feet or greater in area.

(c) Village Greens and Green Courts shall be in the range of 3,000 to 10,000 square feet or greater in area.

(d) Tot lots and Pocket Parks shall be least 10,000 square feet in area.

(e) Playgrounds shall be at least 10,000 square feet in area.

(f) Neighborhood Parks shall be at least two (2) acres in size.

(g) At least one (1) gazebo or pavilion shall be provided for every forty (40) acres of TND area.

K. *Signage.* The following sign regulations shall apply to nonresidential uses within an approved TND. This section identifies those aspects of signage which are unique to the TND. However, all signage must be applied for and approved in accordance with Part 6., Signs. No signage will be approved through the TND Conditional Use or Land Development process. This section should be read in conjunction with and harmoniously with the signage regulations in the Code of Ordinances.

(1) Each nonresidential establishment shall be permitted a total of thirty-five (35) square feet of signage which may be applied among the following four (4) sign types:



(a) A projecting wall sign or blade sign may be permitted provided that the lower edge of the sign is a minimum of ten (10) feet above grade, but does not extend more than four (4) feet from the building wall and not higher than the first floor or fifteen (15) feet, which is less. A projecting wall sign shall not exceed ten (10) square feet in area.

(b) A flat wall sign may be permitted provided the flat wall sign does not exceed fifteen (15) feet in area and may be mounted on either side of a doorway or between the first and second floors of a multi-story building.

1) An awning sign may be used in lieu of a flat wall sign or in combination provided that awning signs shall maintain a clear height of at least ten (10) feet and maximum of six (6) feet in depth out in front of the building. Material shall be canvas cloth or an equivalent material, but in no case shall shiny or reflective material as well as metal, plastic or glass be permitted. Lettering shall be limited to twelve (12) inches vertically.

(c) A freestanding sign may be permitted provided it does not exceed ten (10) square feet in area and nine (9) feet in height. TND freestanding signs shall be located within twelve (12) feet of the building.

(d) Additional Sign. One sandwich board portable sign may be permitted provided it is displayed only during normal business hours and will be permitted in addition to the total thirty-five (35) square feet permitted per establishment.

1) The sandwich board may be placed on the sidewalk immediately in front of the use, provided a five (5) foot clear pedestrian passage is maintained.

2) The sandwich board sign shall be a maximum of ten (10) square feet.

(2) Backlit and internally illuminated signs are not permitted. Illumination shall be from a concealed indirect source only.

#### L. *Utilities*

(1) All new utilities shall be underground.

(2) All cable TV boxes, meters, and the like shall be located to the rear

of properties and shall be screened.

M. *Perimeter Setbacks and Buffers.* The following minimum perimeter setbacks and landscaped buffer areas shall apply along perimeter property lines of the original tract, except along streets where the Build-To-Line applies and except where two (2) adjoin one another:

- (1) For the TND-1 Overlay District: 50 feet.
- (2) For the TND-2 Overlay District: 15 feet.
- (3) For the TND-3 Overlay District: 15 feet

N. All curbing within any Traditional Neighborhood Development shall be six inch (6") vertical concrete curbing constructed in accordance with the standards of the Public and Private Improvements Code. (As amended by Ordinance No. 2008-387)

6. *Use, Density, Unit Mix, and Common TND Open Space Regulations for the TND-1 Overlay District.*

A. *Uses.*

- (1) Single-Family Detached Dwellings.
- (2) Duplexes (Single-Family Semi-detached).
- (3) Single-Family Attached Dwellings/Townhouses.
- (4) Apartments/Multi-Family Dwellings.
- (5) Civic use.
- (6) Outdoor recreational facilities.
- (7) Live-Work Units.
- (8) Bed and Breakfast Inn.
- (9) Other commercial uses provided the ground floor area of the building does not exceed 8,000 square feet.

B. *Accessory Uses.*

- (1) Uses and structures which are customarily associated with the permitted principal uses.

(2) No impact-home-based business.

(3) An Accessory Dwelling Unit, (Granny Flat or Mother-in-Law Suite), provided that no more than ten percent (10%) of the total number of single-family detached dwellings shall have such accessory dwelling units.

C. The maximum gross density shall not exceed five and one half (5.5) dwelling units per acre, including all dwelling unit types.

D. At least two (2) housing types shall be provided in each TND.

E. Use Composition.

(1) No more than ten percent (10%) of the gross tract area shall be devoted to commercial use after subtracting the minimum required Common TND Open Space. This area shall include the acreage of buildings, off-street parking and stormwater management.

(2) A minimum of thirty percent (30%) of the gross tract area shall be designated and maintained as Common TND Open Space as follows:

(a) A minimum of five percent (5%) of the gross tract area shall be for Greens. Such areas shall not be sloping greater than five percent (5%).

(b) A minimum of ten percent (10%) of the gross tract area shall be for active recreation facilities, such as playfields, play courts, playgrounds, and tot lots, in a neighborhood park.

(c) The balance of the open space areas shall be passive open space areas, and/or natural resource conservation areas and/or Greens.

F. Active Recreational Areas and Greens shall count as part of the required useable recreation space, as per the Cranberry Township Subdivision and Land Development Ordinance.

7. *Use, Density, Unit Mix, and Common TND Open Space Regulations for TND-2 Overlay District.*

A. *Uses.*



- (1) Single-Family Detached Dwellings.
- (2) Duplexes (Single-Family Semi-Detached).
- (3) Single-Family Attached Dwellings/Townhouses.
- (4) Apartments/Multi-Family Dwellings.
- (5) Live-Work Units.
- (6) Daycare Center.
- (7) Retail Use and personal service shops provided that no individual store or shop shall exceed 75,000 square feet on the ground floor, such as:
  - (a) Café; restaurant with any drive-thru facilities located opposite the primary street frontage side of the building; bakery; caterer.
  - (b) Gift shop.
  - (c) Corner store; newsstand.
  - (d) Convenience store with retail sales of automotive fuels and lubricants.
  - (e) Florist; jeweler.
  - (f) Grocery store; farmers/growers market; supermarket.
  - (g) Home improvement store.
  - (h) Clothing store.
  - (i) Art gallery; art studio; photographic studio; music studio; dance studio.
  - (j) Pharmacies located opposite the primary street frontage side of the building, and in compliance with Conditional Use requirements.
  - (k) Financial institutions located opposite the primary street frontage side of the building, and in compliance with Conditional Use requirements.
  - (l) Personal service shops.
- (8) Office, Professional Office, Medical Office.
- (9) Bed and Breakfast Inn.
- (10) Hotel.
- (11) Civic use.
- (12) Outdoor recreational facilities.
- (13) Place of worship.
- (14) Structural parking.
- (15) Cinema; theatre.
- (16) Bus terminal or other mass transit facility.

B. *Accessory Uses.*

- (1) Uses and structures which are customarily associated with the permitted principal uses.
- (2) No-impact home-based business.

C. The maximum gross density shall not exceed ten (10) dwelling units per acre, unless the base density is increased in accordance with the following sliding scale:

- (1) If three (3) housing types are provided, a credit of one (1) additional dwelling unit per acre shall be achieved above the 10 set forth above.
- (2) If twenty percent (20%) of the gross TND tract area is designated and maintained as Common TND Open Space (five percent (5%) above the minimum required), a credit of one (1) additional dwelling unit per acre shall be achieved above the 10 set forth above.
- (3) If more than ten percent (10%) of the total TND site area is devoted to and maintained for commercial use (thereby helping to promote walkability and to minimize off-site vehicular trips), a credit of one (1) additional dwelling unit per acre shall be achieved above the six and one half (6.5) set forth above.
- (4) If more than eighty-five percent (85%) of all buildings are accessed from alleys and service drives (thereby minimizing curb cuts, promoting continuous pedestrian movement along sidewalks, and improving streetscape quality), a credit of one (1) additional dwelling unit per acre shall be achieved above the ten (10) set forth above.
- (5) If at least three (3) Bus Shelters located at stops on established or confirmed to be established public mass transit routes are provided, a credit of one-half (.5) additional dwelling unit per acre shall be achieved above the ten (10) set forth above.
- (6) If a Park and Ride Facility is constructed, a credit of one (1) additional dwelling unit per acre shall be achieved above the ten (10) set forth above.
- (7) Regardless of the menu of the six (6) bonus categories set forth above, the maximum gross density with bonuses shall be fifteen (15) dwelling units per acre.

D. At least three (3) housing types shall be provided, wherever the gross tract acreage is forty (40) or more acres.

E. *Use Composition.*

(1) No less than five percent (5%), but no more than sixty percent (60%) of the gross tract area shall be devoted to commercial use. This area shall include acreage for buildings, off-street parking and stormwater management. If there is a mixed-use building, such as commercial on the ground floor and residential use above, only one-half of the ground floor commercial use should be counted. If there is shared parking, only the pro-rata share of the commercial parking space shall be counted.

(2) A minimum of fifteen percent (15%) of the gross tract area shall be designated and maintained as Common TND Open Space as follows:

(a) A minimum of five percent (5%) of the gross tract area shall be for Greens, Plazas or Square. Such areas shall not be sloping greater than five percent (5%).

(b) A minimum of five percent (5%) of the gross tract area shall be for active recreation facilities, such as playfields, play courts, playgrounds, tot lots in a neighborhood park, trails and the like.

(c) The balance of the Common TND Open Space areas shall be passive open space areas, natural resource conservation areas, and/or Greens.

F. Greens and active recreational areas shall count as part of the required useable recreation space, as per the Cranberry Township Subdivision and Land Development Ordinance.

8. *Use, Density, Unit Mix, and Common TND Open Space Regulations for TND-3 Overlay District.*

A. *Uses.*

(1) Attached Dwellings/Townhouses.

(2) Apartments/Multi-Family Dwellings.



- (3) Assisted Living Facility/Personal Care Home.
- (4) Live-Work Units.
- (5) Daycare Center.
- (6) Retail Use and personal service shops provided that no individual store or shop shall exceed 75,000 square feet on the ground floor, such as:
  - (a) Café; restaurant; bakery; caterer.
  - (b) Gift shop.
  - (c) Corner store; newsstand.
  - (d) Convenience store with retail sales of automotive fuels and lubricants.
  - (e) Florist; jeweler.
  - (f) Grocery store; farmers/growers market; supermarket.
  - (g) Clothing store.
  - (h) Art gallery; art studio; photographic studio; music studio; dance studio.
  - (i) Pharmacy with any drive-thru facilities located opposite the primary street frontage side of the building, and in compliance with Conditional Use requirements.
  - (j) Financial institution with any drive-thru facilities located opposite the primary street frontage side of the building, and in compliance with Conditional Use requirements.
  - (k) Personal service shops.
- (7) Office, Professional Office, Medical Office.
- (8) Bed and Breakfast Inn.
- (9) Hotel.
- (10) Cinema; Theatre.
- (11) Civic use.
- (12) Outdoor recreational facilities.
- (13) Place of worship.
- (14) Educational use.
- (15) Structural parking.
- (16) Bus terminal or other mass transit facility.

(17) Night Club.

B. *Accessory Uses.*

(1) Uses and structures which are customarily associated with the permitted uses.

(2) No-impact home-based business.

C. The maximum gross density shall not exceed fifteen (15) dwelling units per acre, unless the base density is increased in accordance with the following sliding scale:

(1) If four (4) housing types are provided, a credit of one (1) additional dwelling unit per acre shall be achieved above the 15 set forth above.

(2) If fifteen percent (15%) of the gross TND tract area is designated and maintained as Common TND Open Space (5% above the minimum required), a credit of one (1) additional dwelling unit per acre shall be achieved above the 15 set forth above.

(3) If more than sixty percent (60%) of the total TND site area is devoted to and maintained for commercial use (thereby helping to promote walkability and to minimize off-site vehicular trips), a credit of one (1) additional dwelling unit per acre shall be achieved above the fifteen (15) set forth above.

(4) If more than eighty-five percent (85%) of all buildings are accessed from alleys and service drives (thereby minimizing curb cuts, promoting continuous pedestrian movement along sidewalks, and improving streetscape quality, a credit of one (1) additional dwelling unit per acre shall be achieved above the fifteen (15) set forth above.

(5) If at least four (4) Bus Shelters located at stops on established or confirmed to be established public mass transit routes are provided, a credit of one (1) additional dwelling unit per acre shall be achieved above the fifteen (15) set forth above.

(6) The maximum gross density with bonuses shall be twenty (20) dwelling units per acre.

D. At least three (3) housing types shall be provided, whenever the gross tract acreage is forty (40) acres or greater.

E. *Use Composition.*

(1) No less than sixty percent (60%), but no more than seventy-five percent (75%) of the gross tract area shall be devoted to commercial use. This area shall include the acreage for buildings, off-street parking and stormwater management. If there is a mixed-use building, such as commercial on the ground floor and residential use above, only one-half (.5) of the ground floor commercial use should be counted. If there is shared parking, only the pro-rata share of the commercial parking space shall be counted.

(2) A minimum of ten percent (10%) of the gross tract area shall be designated and maintained as Common TND Open Space as follows:

(a) A minimum of five percent (5%) of the gross tract area shall be for Greens, Plazas and/or Squares. Such areas shall not be sloping greater than five percent (5%).

(b) The balance of the Common TND Open Space areas shall be passive open space areas, natural resource conservation areas, and/or Greens.

(3) Greens and active recreational areas shall count as part of the required useable recreation space, as per the Cranberry Township Subdivision & Land Development Ordinance.

9. *Dimensional Regulations for TND Overlay Districts.*

A. The following dimensional regulations shall apply, and be governed by the maximum gross density regulations for each District.

(1) *Build-To Lines.*

(a) All residential dwellings shall have a Build-To Line of six to twelve (6 to 12) feet.



(b) All other non-residential buildings shall have a Build-To Line of twelve to twenty (12 to 20) feet.

(2) *Building Separation Distances.*

(a) All single-family detached residential buildings shall be separated from one another by a minimum distance of six (6) feet.

(b) All attached dwelling buildings and multi-family dwelling buildings shall be separated from one another by a minimum distance of twelve (12) feet.

(c) All non-residential freestanding building groups shall have a minimum separation distance of twenty (20) feet to any other principal freestanding building groups.

(3) *Maximum Impervious Surface Coverage.*

(a) TND-1 District: 70%.

(b) TND-2 District: 85%.

(c) TND-3 District: 90%.

(4) *Building Height.*

(a) Two-stories and/or twenty (20) feet minimum for all principal buildings in TND-1 and TND-2 Overlay Districts; and two (2) stories for all principal buildings in the TND-3 Overlay Districts.

(b) The maximum height for principal buildings in the TND-1 District shall be forty-five (45) feet.

(c) The maximum height for principal buildings in the TND-2 District shall be sixty-five (65) feet, except that a hotel may be ninety-five (95) feet.

(d) The maximum height for principal buildings in the TND-3

District shall be ninety-five (95) feet.

(5) *Minimum Floor Area.*

(a) Each dwelling unit shall have at least 500 square feet of floor area in the TND-3 Overlay District, and 750 square feet in the TND-2 and TND-1 Overlay Districts.

(6) *Maximum Non-Residential Building Footprint.*

(a) A single non-residential building footprint shall not exceed 75,000 square feet in gross floor area on the ground floor in the TND-1, TND-2, and TND-3 Overlay Districts.

10. *Context Sensitive Infill Development.*

A. Development on properties of less than forty (40) acres shall meet all of the requirements of § 27-506., Exhibit 'A' and Exhibit 'B', except as follows:

(1) The following minimum percentages of the gross tract area shall be built and maintained as Common TND Open Space, in the form of Greens and/or Squares as per Exhibit 'B'.

- (a) Two percent (2%) for properties under 10 acres.
- (b) Three percent (3%) for properties from 10 to 14.99 acres.
- (c) Four percent (4%) for properties from 15 to 24.99 acres.
- (d) Five percent (5%) for properties from 25 to 39.99 acres.

(2) For residential development, the number of housing types shall depend on the gross site acreage:

- (a) Zero to twenty (0 to 20) acres requires one (1) housing type.
- (b) Twenty-one to thirty-nine (21 to 39) acres requires two (2) housing types.

(3) One hundred percent (100%) of the buildings may be for non-residential use.

(4) One hundred percent (100%) of the buildings may be for residential use.

B. Any such land shall be adjacent to an existing TND or to a site with Final Land Development Approval for any phase of a proposed TND.

C. Any Context Sensitive Infill Development shall compliment the master plan and design standards of the TND to which it is adjacent.

D. The total Context Sensitive Infill Development adjacent to an existing TND of 40 acres or greater can not exceed the total acreage of the original TND of forty (40) acres or greater.

**SECTION 3.** Severability.

If any chapter, section, subsection, paragraph, sentence or phrase of this ordinance is for any reason declared invalid by a court of competent jurisdiction, such decision shall not affect the validity of the ordinance as a whole or any section or part thereof other than the section or part thereof so declared to be invalid.

**SECTION 4.** Repealer.

Any ordinance, chapter, section, subsection, paragraph, sentence or phrase of any ordinance conflicting with the provisions of this ordinance shall and the same is hereby repealed to the extent of such conflict.



Ordained and enacted this 6<sup>th</sup> day of March, 2008, BY THE BOARD OF SUPERVISORS  
of the Township of Cranberry.

ATTEST:

Board of Supervisors of the  
Township of Cranberry



\_\_\_\_\_  
Jerry A. Andree, Township Manager/Secretary



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Richard M. Hadley, Chairman